

# CITY OF PLACERVILLE DEVELOPMENT GUIDE

*“Placerville, a Unique Historical Past Forging into a Golden Future”*



August 25, 1992: Council Resolution No. 5549

Amendments:

July 8, 2008: Council Resolution No. 7626

June 28, 2016: Council Resolution No. 8434

September 26, 2017: Council Resolution No. 8555

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**RESOLUTION NO. 8434**

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
PLACERVILLE APPROVING THE UPDATE TO THE CITY OF  
PLACERVILLE DEVELOPMENT GUIDE**

**WHEREAS**, on August 25, 1992, the City Council adopted Resolution 5549 that approved the *City of Placerville Development Guide*; and

**WHEREAS**, the preparation of a Development Guide is an implementation program contained within the City's General Plan; and

**WHEREAS**, On October 30, 2012, the City Council directed that staff integrate an update of the Development Guide into a Development Services Department work plan; and

**WHEREAS**, public hearings were conducted by the City Council on March 22, 2016, April 12, 2016, April 26, 2016 and May 10, 2016 to consider public and City Council comments; and

**WHEREAS**, the City Council on June 28, 2016, considered the recommendation of the Planning Commission to make the finding that the Update of the Development Guide project is exempt from environmental review under the General Rule (Section 15061(b)(3)) of the California Environmental Quality Act Guidelines, and approve the Update of the City of Placerville Development Guide.

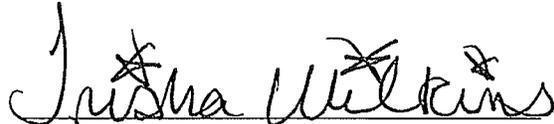
**NOW THEREFORE, BE IT RESOLVED**, that the City Council of the City of Placerville does hereby:

1. Find that the Update to the City of Placerville Development Guide project is exempt from environmental review per California Environmental Quality Act (CEQA) Guidelines under the General Rule (Section 15061 (b)(3)), in that the project involves updates and revisions to existing guidelines for the planning, design and processing of development activities within the City, and it can be seen with certainty that the proposed amendments to the City of Placerville Development Guide will have no significant negative effect on the environment.

2. Approve the Update of the City of Placerville Development Guide, a copy of which is on file in the City Clerk's office, the Development Services Department, and by reference incorporated herein.

The foregoing Resolution was introduced at a regular meeting of the City Council of the City of Placerville held on June 28, 2016 by Councilmember Thomas who moved its adoption. The motion was seconded by Councilmember Acuna. The motion was passed by the following vote:

AYES: Acuna, Borelli, Clerici, Thomas, Wilkins  
NOES: None  
ABSENT: None  
ABSTAIN: None

  
Mayor Trisha Wilkins

ATTEST:

  
Regina Connell, Interim City Clerk

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## **Chapter I**

### **PURPOSE OF THE DEVELOPMENT GUIDE**



**GOALS OF THE GENERAL PLAN**

**CONTACT STAFF**

**SOURCES OF ADDITIONAL INFORMATION**

**DEVELOPMENT GUIDE PREPARATION**



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## I. Purpose of the Development Guide

The Development Guide was created to assist applicants, neighbors, staff, and planning commissioners in understanding and applying Placerville's General Plan goals and zoning code requirements; and also to communicate the City's development design goals through explanations and examples of high quality alternatives. It is the intent of the guidelines to provide the user with specific design elements that encourage thoughtful development to maintain a sense of community.

This Development Guide is intended to be a useful resource in providing clear guidelines for planning and design of projects, as well as summarizing the development process. The guidelines are meant to enhance, rather than restrict, architectural creativity in the City, which contains a variety of architectural style and representative time periods. This document is intended to facilitate design innovation and quality development that fits well within the context of our community in order to lend unity and consistency to the fabric of our City. The Development Guide will also serve as the standard for the development community, staff, and the Planning Commission, to more easily ensure compliance with the policies and programs adopted in the General Plan, thus contributing to the preservation and enhancement of the City's image and sense of place.

This document will provide the following:

- Outline the City's permit application and review procedures;
- Describe the City's development policies, standards and guidelines; and
- Suggest site and landscape design approaches.



## A. Goals of the General Plan

1. To establish a distinct and positive identity for Placerville through the preservation and enhancement of the City's visual amenities.
2. To preserve, restore and rehabilitate the historical buildings and other elements that define the character of downtown.
3. To establish standards that promotes quality in architectural design and materials.
4. To promote aesthetic and visual qualities, as well as function and safety in design along the rights-of-way of local streets.
5. To foster quality development and upgrade the visual character of Broadway and Placerville Drive.
6. To enhance the visual experience of motorists traveling the Highway 50 corridor and to promote integration of the highway into the overall framework of community design.
7. To establish criteria for signage and lighting to promote functional and aesthetically pleasing designs and avoid visually chaotic approaches.
8. To prevent loss of lives, injuries, and property damage due to wildland and urban fires.



## B. Contact Staff

### City of Placerville

#### Development Services Department

3101 Center Street  
Placerville, California 95667  
(530) 642-5252

#### Recreation and Parks Department

549 Main Street  
Placerville, California 95667

## C. Additional Sources of Information

The following documents should be reviewed as necessary in their application to any given development project:

### City of Placerville

- Design and Construction Standards Manual
- [Downtown Revitalization Action Plan](#) (March 1996)
- [General Plan Background Report](#)
- [General Plan Policy Document](#)
- Hangtown Creek Comprehensive Watershed Plan (March 2012)
- [Historic Resources Inventory](#)
- Non-Motorized Transportation Plan (October 2010)
- [Main Street Streetscape Design Development Plan](#) (January 2006. Amdt 2016)
- Pedestrian Circulation Plan (January 2007)
- [Placerville Airport Land Use Compatibility Plan \(ALUCP\)](#)
- [Zoning Ordinance:](#)
  - [Sloping Parcels Ordinance](#)
  - [Woodland and Forest Conservation Ordinance](#)
- [Placerville Drive Development and Implementation Plan](#) (April 2009)

Erosion And Sediment Control Guidelines for Developing Areas of the Sierras, published by High Sierra Resource Conservation and Development Council

## D. Development Guide Preparation and Credits

This Guide was first prepared for the City by HLA Group in 1993. In 2008, Appendix A – Plant Lists was amended by Council Resolution 7626. In 2010 the Master Street Tree Plan – Tree Palette was approved by City Council and added.

The following provided assistance in the 2016 Update of the Development Guide:

### City Council (present and past)

Trisha Wilkins, Mayor  
John Clerici, Vice-Mayor  
Patricia Borelli, Councilmember  
Wendy Thomas, Councilmember  
Mark Acuna, Councilmember  
Carl Hagen  
Carol Patton

### Community Pride Committee

Christine Thiel  
Kathi Lishman  
Tim Daviess  
Cindy Podsiadlo  
Josette Johnson  
Deb Power  
Steve Youel, Staff Liaison

### Historical Advisory Committee

Peter Wolfe  
Lanny Hardy  
JoAnne Rogers  
Bruce Harkey  
John Sellers  
Michael Saragosa  
Roger Klemm  
Ron Gutzman

### Planning Commission (present and past)

Michael Frenn  
John List  
George Lowry  
Daniel Robey  
Peter Wolfe  
Michael Drobesh  
Les Russell



City Staff (present and past), interns and  
volunteers

Pierre Rivas, Development Services Director

Lynne Hunter, Administrative Assistant

Andrew Painter, City Planner

Steve Calfee, Director (Ret.)

Erica Inderlied, Administrative Assistant

Andrea Stevenson, Administrative  
Technician

Allison Holmstedt, U.C. Davis Intern

Toni Loera, Volunteer



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## **Chapter II**

### **SITE DESCRIPTION**



**REGIONAL CONTEXT**

**HISTORICAL CONTEXT**

**EXISTING SITE ELEMENTS AND NATURAL FEATURES**



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## II. Site Description

### A. Regional Context

#### 1. Setting

The City of Placerville occupies approximately six (6) square miles on the western slope of the central Sierra Nevada in El Dorado County, at the junction of U.S. Highway 50 and State Highway 49. Placerville is located about twenty-five (25) miles east of Folsom and sixty (60) miles west of South Lake Tahoe on Highway 50, with Auburn twenty-five (25) miles to the north and Jackson thirty-four (34) miles to the south along Highway 49.

As it lies at the bottom and ascends the slopes of Hangtown Canyon and is bisected by Hangtown Creek, Placerville's physical character is that of a foothill landscape with a gold rush heritage and a rural, small town atmosphere. The City is a vital hub of local and regional commerce and functions as a leader in the region in its capacity as the seat of El Dorado County's government.



#### 2. Climate

The climatic conditions of the Placerville area reflect the transitional nature of its foothill setting. At approximately 1,900 feet above sea level, within the transitional zone between the hot, dry Central Valley and the more severe winters of the Sierra Nevada, Placerville's location in California's oak/pine woodland suites a range of plant materials. Among these are the regionally important apple orchards that require a marked seasonal pattern.

Average winter temperatures range from 30° - 40° F., with lows ranging from 9° - 23° F. Temperatures in the summer average in the range of 75° - 95° F.

Annual rainfall averages 39.72 inches, with several significant snow storms expected each winter.

It is necessary to select plant materials that not only tolerate, but thrive in these climatic conditions. Further, periods of severe drought are presently a state-wide concern. Careful design and skillful management of the landscape will minimize water waste and ensure the continued enjoyment of landscape amenities and the benefits of plants in the community.

It must also be noted that the temperate climate of the Placerville area presents ideal conditions for the start and spread of wildland fires. While the focus of this development guide is to reinforce the goals of the city's *General Plan* as they relate specifically to community design, the integration of wildland fire safety concepts is important in order to promote an approach that is well planned and aesthetically pleasing. Refer to Section VI, Landscape Design Guidelines, for additional information.

#### 3. Soils

A 1974 soil survey of El Dorado County by the United States Soil Conservation Service and the University of California Agricultural Experiment Station identified over 120 separate soil types within the County. The soils of the Placerville area can be considered typical of hilly uplands and consist mainly of residual soils of medium to shallow depth to bedrock. They are often stony, with a pH factor that is neutral or alkaline. Expansive clay is also known to occur within the City. Appropriate soil preparation and amendments are critical to the success of landscape improvements.



## B. Historical Context

In January of 1848, the first discovery of gold was made along the South Fork of the American River. As miners settled the area, a tent community known as “Dry Diggings” evolved in the canyon along present-day Hangtown Creek. The camp was nicknamed “Hangtown” in 1849 after the hangings of several men from a tree near what is now the corner of Main and Center (formerly Coloma).

Incorporated as Placerville in 1854, the County seat was relocated there from Coloma in January 1857, and for several years Placerville boasted the largest voting population in California. Between 1858 and 1859 the City had grown to 6,000 residents. By 1861, Placerville’s population of over 7,000 people represented a major commercial center that rested heavily on the economics of the mining industry.

The period between 1860 and 1880 was one of economic decline due to lower gold and silver prices and new gold discoveries elsewhere that drained the population of El Dorado County. By 1880, Placerville’s population had declined to 2000. New industries were needed in order for the community to survive, and the County began to promote its timber resources and agricultural potential. In 1887, the Southern Pacific Railroad connected Placerville’s ranchers and farmers to other markets, and agriculture became more profitable.

Through the 1920s and 1930s, development of the highway system made Placerville the gateway to Lake Tahoe, and its business catered to tourism. Responding to the area’s rapid growth and the need for better transportation routes, a state highway was constructed through the core of Placerville. Many structures in the historic commercial district were sacrificed, and although business increased, traffic and congestion increased as well. Growth and development pressures continue in the City today.

The physical and cultural development of Placerville exemplifies the rapid development, decline, development pattern of frontier mining towns, through the boom and bust years of the gold rush and on into the twentieth century.

As of the 2010 US Census, the Placerville population was approximately 10,400 residents. A broad mix of industry sectors make up much of the economic

engine of present-day Placerville. These include educational services, retail trade, professional, scientific and technical services, construction, and local government (City and El Dorado County) to name a few. Most of these can be found within or adjacent to the City’s three commercial corridors: Placerville Drive, Downtown and Broadway.

Contemporary Placerville’s goal is to initiate community design policies to produce a sense of continuity between old and new, to minimize erratic and peripheral approaches to planning and development and to draw on the City’s heritage to establish a clear identity.



## C. Existing Site Elements and Natural Features

Placerville's mining town heritage, rugged terrain, and creeks and streams have played significant roles in the evolution and physical development of the City. Due in part to these factors, Placerville's development has been irregular and discontinuous, with distinct and identifiable elements forming the overall scene. The goal of this guide is to promote a concept of community design that fosters integration and unity of these elements while preserving the unique qualities that create variety and richness in Placerville's visual character. Note that topography and vegetation are significant factors in the rapid spread of wildland fires, and site development proposals must demonstrate an awareness of and sensitivity to these factors.

### 1. Topography

Placerville's foothill location provides important natural features and many opportunities for exceptional and innovative design solutions. The sensitivity of much of its hillside areas to erosion, scarring, and other effects of inadequate planning emphasize the need to consider existing landforms, vegetation, natural drainage patterns, rock outcroppings and other natural features in any attempt to create a project which is an asset to the Placerville area. To minimize impacts to these characteristic natural features and elements, the *Sloping Parcel Ordinance (Section 10-4-2 (D) 4* of the Zoning Ordinance) was adopted. This ordinance sets forth minimum parcel area requirements for hillside development of land divisions on parcels with slopes in excess of ten percent (10%). The *Sloping Parcel Ordinance* is available from the City's Development Services Department.

The City also encourages the use of the *Planned Development Overlay* option within the Zoning Ordinance to minimize impacts to the environment. A planned development option allows for flexible design under the conventional zoning code. Examples of this flexibility of design could involve energy efficiency, use of natural features of a landscape to its greatest advantage, or concentrating development on a site where it is economically feasible to leave steep slopes, natural drainages, or other unique site features intact.

### 2. Vegetation

Existing vegetation in the foothill area between the grasslands of the Central Valley and the evergreen forests of the Sierra Nevada includes many California native species, particularly native oaks and pines, which define and distinguish the landscape character of Placerville. Oak woodlands and oak grasslands with some coniferous species are the dominant plant associations found in the area.

Along creeks and streams, riparian vegetation also exists. In order to preserve the landscape character established by these existing plants, new landscape concepts should only introduce materials that are compatible with the existing natural vegetation and are appropriate to the climate and soil conditions of the site. The use of native and drought resistant plant materials is encouraged. Refer to Appendix "A" of this document for additional information regarding appropriate plant selections.



Native trees have been addressed in Placerville's *Woodland and Forest Conservation Ordinance* which provides criteria and standards for the preservation and maintenance of these plants. If existing trees grow on a site intended for development or improvement, the project must comply with the canopy retention standards of the *Woodland and Forest Conservation Ordinance*, available from the City's Development Services Department, and under Title 8, Chapter 13 ([Section 8-13-1](#)) of the City Municipal Code.

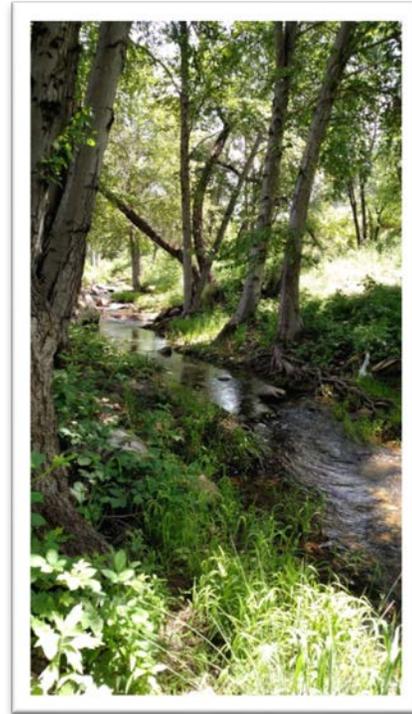


General recommendations for the treatment of existing trees have been included within this document as are appropriate to the context and scope of the Development Guide. Refer to Section IX, Existing Trees & Native Plant Material, for additional information.

### 3. Hangtown Creek

Hangtown Creek is a significant asset to Placerville as it bisects the City through its three commercial corridors. The creek provides a visual amenity and opportunities for development as an open space corridor and a pedestrian linkage. The City's *General Plan* calls for the preparation and adoption of an improvement plan for Hangtown Creek which should emphasize pedestrian access, aesthetic enhancement, and public safety. The watercourse and its existing vegetation shall be protected and enhanced to the greatest degree possible, as stated in the *General Plan*.

Creative site planning for all development adjacent to Hangtown Creek in the three commercial corridors should include emphasis of creekside locations and incorporate amenities such as courtyards and promenades, which maximize the creek's potential as a scenic resource. Development in the Point View Drive/Smith Flat/Jacquier Road area should respect the creek in its natural state and promote improvements that preserve the overall quality of the creek environment, including vegetation.



*Hangtown Creek is a significant asset to Placerville as it bisects the City...*



*... all development adjacent to Hangtown Creek in the three commercial corridors should include emphasis of creekside locations ... as a scenic resource.*

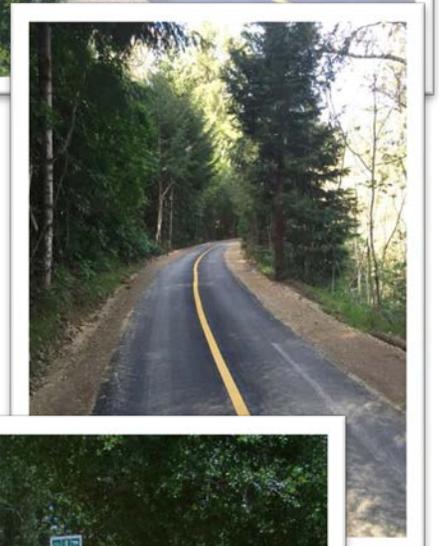


#### 4. Southern Pacific and Michigan / California Railroad Rights-of-Way

The City of Placerville acquired the abandoned railroad rights-of-way that surround Placerville's commercial and residential areas in 2013. The City's *Non-Motorized Transportation Plan* utilizes these rights-of-way for a trail that may one day provide a connection to other regional systems such as the American River Parkway in Sacramento County. In 2015, the City completed trail linkages between Clay Street and Bedford Avenue, and between Forni Road at Main Street westerly to Ray Lawyer Drive.

The development of the railroad corridors as well-defined bike / pedestrian circulation routes would also establish convenient access to the pedestrian overpass that traverses Highway 50 and connects the north and south sides of the community. Pedestrian linkages that help to minimize the divisive impacts of the freeway are fundamental to the concept of community design.

Proposed developments that interface with these linkages and access points have an obligation to promote public use of these routes, and must address the issues of physical and visual access as well as public safety.



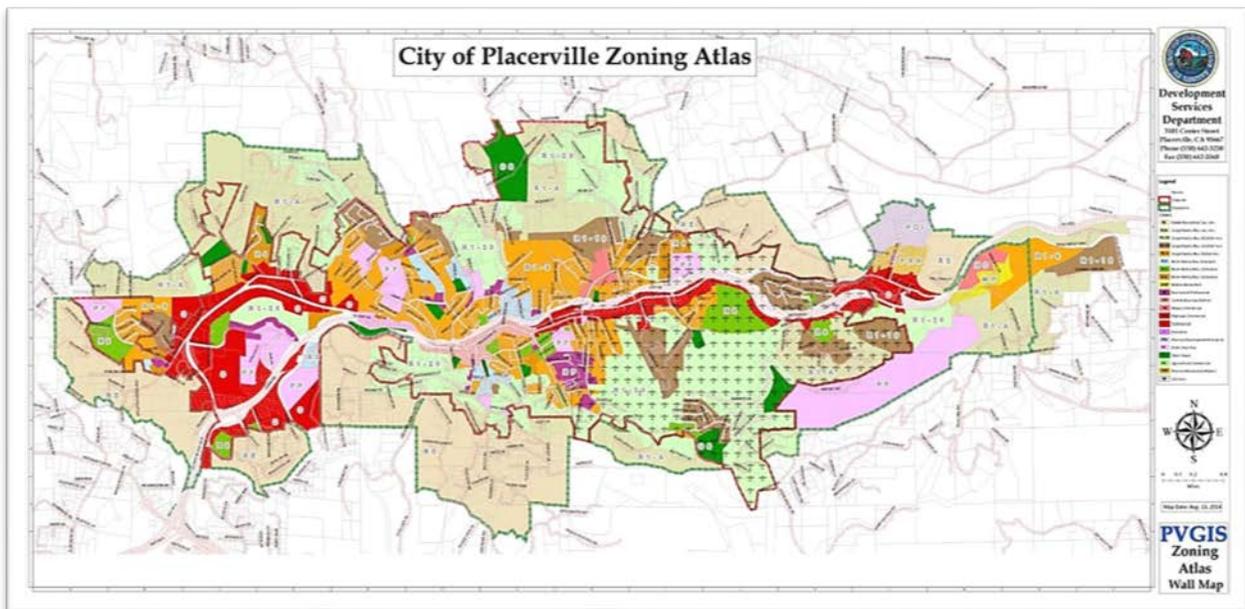
*In 2015 the City completed trail linkages between Clay Street and Bedford Avenue, and between Forni Road at Main Street westerly to Ray Lawyer Drive.*



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## Chapter III

### LAND USE AND ZONING



#### LAND USE CATEGORIES

#### CIRCULATION



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### III. LAND USE AND ZONING

#### A. Land Use Categories

Contained within the boundaries of the City of Placerville are land uses which are many and diverse, and which must all adhere to a philosophy of community design in order to ensure compatible and cohesive development. A complete matrix of Placerville's land use zones and their permitted uses is provided in Appendix "D" of this Development. Zoning maps for the City can be obtained from the Development Services Department or the Department webpages that are part of the City of Placerville website: [www.cityofplacerville.org](http://www.cityofplacerville.org).

Requirements and procedures governing applications of Conditional Use Permits, Variances, Rezoning, General Plan Land Use Amendments, Tentative Subdivision or Parcel Maps, Preliminary Plan Check or Site Plan Review are summarized in Appendix "E" of this document. All of these applications require an Environmental Assessment, and the process for such an assessment are also explained in Appendix "E".

Application forms for all procedures may be accessed from the Development Services Department webpages. Or, forms may be obtained from the Development Services located in City Hall. Contact information is provided on Page 2.

As a largely self-contained community in which people live, work, and shop, the goal of future land use policies as outlined in the *General Plan* is to preserve both the rural character and the successful mixed use pattern of development in Placerville as the City grows. To this end, active retail and commercial uses that are easily approached on foot are strongly encouraged in street level development, with residential or office uses on the upper floors.

#### B. Circulation

Often determined by the rugged and varied landforms of Placerville's natural landscape, the streets of the City range in scale from intimate, narrow and circuitous country roads, to the imposing Highway 50 corridor. In accordance with the goals of the City's General Plan to prevent loss of lives, injuries, and property damage due to wildland and urban fires, implementation programs with respect

to efficient circulation have been developed, which include the following policies:

1. The City will ensure in approving and constructing new roads and streets that they are adequate in terms of width, turning radius and grade to facilitate access by firefighting apparatus. All plans for new streets for areas within the sphere of influence of the City shall be reviewed by the El Dorado County Fire Protection District to ensure City standards are met since there is a high probability that these areas will be annexed to the City in the future.
2. Future roadway systems and networks shall be designed with at least one means of egress other than the access in all developing areas.
3. The City shall not approve any medium or high density residential developments unless they are served by a street system with at least two streets capable of carrying peak load traffic.
4. Parcel splits and multi-family developments shall not be allowed in areas served by narrow streets until minimum access can be guaranteed to emergency vehicles at all times.
5. Parking shall be restricted on streets less than twenty-eight (28) feet in width, curb to curb.
6. Existing streets shall be upgraded to meet City Subdivision Ordinance standards wherever possible.
7. The City shall strive to restrict vehicular access and recreational use of undeveloped foothill areas during critical fire hazard periods.

Principal routes through and around downtown Placerville that are specifically addressed within this document include the following:



## 1. Highway 50

U.S. Highway 50, a state-designated scenic route that functions as the primary linkage between Sacramento and South Lake Tahoe, also serves as both a facilitator and an impediment to access into and around the Placerville area. The goals of the General Plan include the promotion of high quality development and visual distinction of the Highway 50 corridor.

At present, the freeway's interface with the downtown area is weak, where rear elevations of Main Street buildings generally do not address Highway 50 and present a negative image to freeway traffic. Moreover, integration of the freeway within Placerville's community design and circulation network is necessary to encourage convenient pedestrian overpasses and vehicular linkages for traffic traveling north and south.

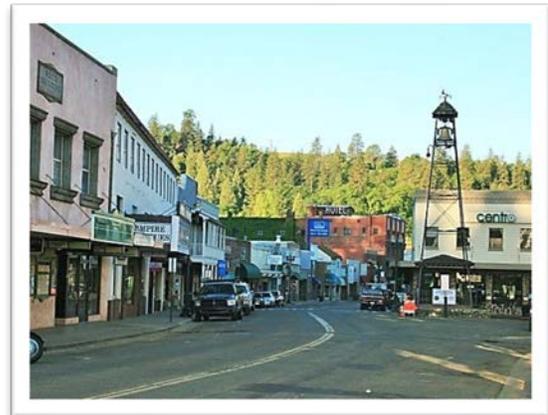


*...integration of the freeway within Placerville's community design and circulation network is necessary to encourage convenient pedestrian overpasses...*

## 2. Arterial Streets

### a. Main Street

Main Street represents the most intensely developed commercial area of Placerville which, through its elements of history, architectural character and scale establishes small town charm and identity. Although this area has many positive attributes, future Main Street improvements must consider the inconsistencies and shortcomings of existing developments in order to promote quality and foster the City's sense of place.



*Main Street, through its elements of history, architectural character and scale establishes small town charm and identity.*

One opportunity for improvement in future projects along Main Street is the interface with Hangtown Creek, which is presently an underutilized amenity with limited visual access. Parking facilities provide little or no landscaping to mitigate the negative visual and climatic qualities of vast expanses of asphalt.

The sometimes haphazard redevelopment or remodeling of Main Street's historic buildings in years past has led to losses in the authenticity and overall quality of the area as a historic district. Seating and socializing opportunities are limited, with little or no furniture within the streetscape. Brick and stone planter walls are often made non-sittable with wrought-iron bars, spikes or other ornamentation.



Future projects in downtown Placerville must address these factors and incorporate solutions that promote cohesive community design.

On January 10, 2006, the City Council adopted the *Main Street Streetscape Design Development Plan*. The Plan's objectives are to: Preserve and enhance the historical character and assets of Downtown; improve the pedestrian shopping experience; and development of street improvements that are aesthetically cohesive and economically viable that can be implemented through multi-year and multi-phase efforts to achieve the Community's vision for Main Street.

An example is the City's 2015-2016 Main Street Rehabilitation Project, which serves as an improvement catalyst. This project incorporates streetscape features such as enhanced intersections complete with bulb outs, decorative crosswalk materials, lighted bollards, unified trash and recycling receptacles, and tree plantings.

#### **b. Broadway (Upper and Lower)**

Broadway is an east-west thoroughfare which, at its lower end, is an active and sometimes congested area of strip commercial projects and expansive parking lots lacking unity and continuity. Signage along this route lacks order and consistency and tends to be obtrusive. The absence of street trees or building overhangs and awnings, which embrace the street and establish a shade canopy, emphasizes lower Broadway's vehicular orientation.



The character of upper Broadway is a dramatic departure from the lower portion, due to its essentially undisturbed creek and fairly dense cover of native vegetation. A fundamental objective of these guidelines is to provide a framework for the design of new projects, which preserves the rural qualities of this area as it evolves.

#### **c. Placerville Drive**

Placerville Drive defines a geographically separate and somewhat isolated district within the boundaries of the City. Access to the area occurs at each end of Placerville Drive where it intersects Highway 50, and with the Placerville Drive – Main Street Connector. Current uses include primarily strip commercial developments, with a completely vehicular orientation. Landscape guidelines addressing the needs of pedestrians and bicyclists are important throughout this area to develop its potential as a thriving and attractive commercial district.



*Current uses along Placerville Drive include primarily strip commercial developments, with a completely vehicular orientation.*

#### **d. Jacquier Road and Point View Drive**

Portions of Jacquier Road and Point View Drive located within the City are classified as arterial streets within the General Plan. Vacant land in this area is adjacent to the Caltrans Scenic Highway 50 corridor and is zoned for highway oriented uses.



When these lands are developed they are expected to serve the highway traveling public. Design should be functional but be sensitive to existing landforms and the scenic highway designation.



*The character of Smith Road is defined for the most part by its dense vegetation...*

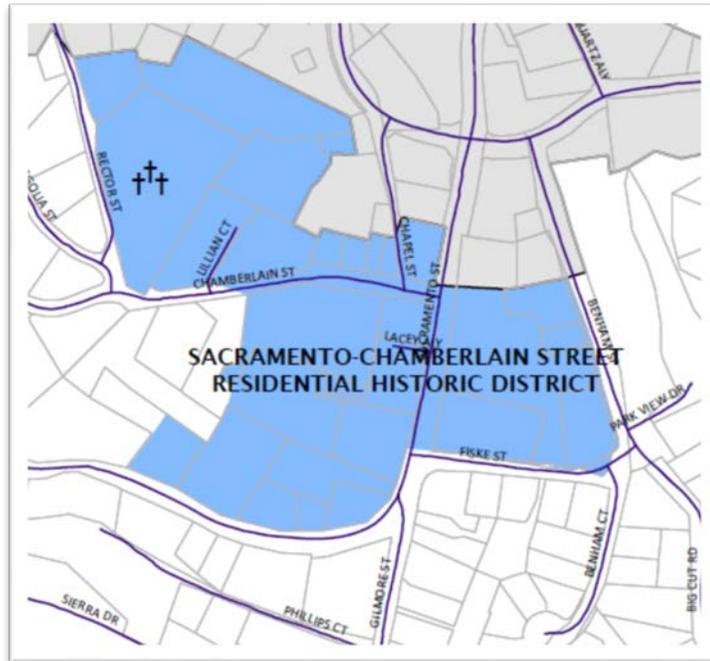
### **3. Collector Street**

#### **a. Smith Flat Road**

The character of Smith Flat Road is defined for the most part by its dense vegetation and by the creek, which it follows for most of its length. As an area of future development, Smith Flat represents a key opportunity to promote exemplary design strategies. The proposed land uses for the Smith Flat area are varied, and include Historic Planned Commercial, Rural Residential, Planned Industrial and Agricultural designations. Comprehensive planning efforts that unify the diversity of uses within Smith Flat, as well as integrate the area into the City's framework of community design will help to preserve its rural charm while fostering physical and economic growth.



**Chapter IV**  
**ARCHITECTURAL DESIGN GUIDELINES**



**DEVELOPMENT IN PLACERVILLE'S HISTORIC DISTRICTS**

**ADDITIONAL DESIGN AREAS**

**DESIGN FACTORS**



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#### IV. Architectural Design Guidelines

Architectural style and the character it imparts have a profound influence on the perception of a place, its identity and its appeal. Compatible and attractive architectural design is a fundamental objective in the development of Placerville's community fabric.

Sound planning that considers the existing features of the site and preserves these elements to the highest possible degree establishes a foundation for continuity, as well as a stable natural environment. Architectural design shall, in all cases, consider the site upon which the building will reside, its contextual relationship to adjacent structures and land uses, climatic orientation, existing vegetation and natural drainage patterns, as well as fire safety.

The integrity of Placerville's architectural character rests on the premise of a concerted effort toward visual quality that encompasses the fundamental elements of scale and proportion, as well as design details such as façade articulation, color and materials, site furnishings and amenities, fences and enclosures.

##### A. Development in Placerville's Historic Districts

Placerville has experienced a unique and important past, instrumental to the early development of California. Our founders, in their search for fortune in the veins and rivers of the Mother Lode, brought with them architectural styles whose heyday has passed but have not been forgotten. It is recognized that these historical and architectural styles from the City's past have value and should be preserved and enjoyed by future generations. Placerville's Historic Districts are an important asset to the City. Not only do these districts contain the City's beginnings, but they also contain some of the most prominent landmarks in Placerville, including the Main Street commercial corridor and many important residential districts.

For the most part, the main architectural themes have already been established and must be considered during the design of any new structures or renovation of existing structures. This does not mean that all new structures must be a lavish imitation of an architectural style from the past, but sensitivity to surrounding buildings and the existing land use patterns is essential to a successful development.

While it is critical that buildings be made habitable and safe, it is equally critical that the architectural character of a building be respected in the process of structural improvements. Unfortunately, this has not always been done in Placerville. The architectural merit of a building has too often been sacrificed for a more contemporary design. For this purpose, the following guidelines were conceived to assist design decisions in the hope that the architectural integrity of Placerville's homes and commercial buildings will no longer be unnecessarily lost.

It is suggested that a property owner think of their home or building as a whole, a single unit with no removable parts. Every change that is made can chip away at the integrity of the whole. Efforts to personalize and update the building will leave one with an assortment of miscellaneous parts that bear no relation to each other or to the original design. For example, wrought iron columns and aluminum frame windows have only one thing in common: the local hardware store. Older buildings in Placerville were built one at a time and such added options can obscure their individuality.



## Restore, Remodel and Rehabilitate

Because there is so much activity these days in the improvement of older buildings, new terminology has been introduced. The difference between “restoring,” “rehabilitating,” and “remodeling” may seem academic, but each results in a major difference in the way a job or project may turn out.

### Restore

To “restore” is to return a building to its original condition as if it were a museum piece. This technique is typically used for structures of particular significance, such as historic landmarks where accuracy will serve an educational and visual purpose. Restoration is the most painstaking improvement process and usually the most expensive because it requires technical skill and historical precision for successful results. Restoration can involve the removal of extraneous elements, as well as the recreation of original features that may have deteriorated or been destroyed. Fine examples of restoration projects in Placerville are the Chichester House on Spring Street and the James Blair House on Clay Street. Great care has been taken to assure that the architectural integrity of the buildings’ exteriors is practically identical to that when they were built in the early 1890s.

### Remodel

Remodeling a building is normally at the opposite end of the improvement spectrum from restoration. Unless it is done with sensitivity, to remodel a building is to redesign it so that the generic features are obliterated and the basic character destroyed in the name of modernization. A remodeling job is too often considered a success if the original structure is unrecognizable in the end result. Remodeling is appropriately used for buildings which were constructed of inferior materials or have fallen into a state of disrepair due to vacancy or vandalism. Remodeling can also be a proper course of action when a structure undergoes a change in use, say from a single-family residence to commercial office space. Unfortunately, it is quite common for a building to be remodeled and totally divested of its valuable characteristics when conditions do not require such radical treatment. Hence, the expression “remodel” can have bad connotations. To

many people it suggests a waste of valuable resources. It is possible, however, to remodel with sensitivity, especially with the help of a talented architect.



## Rehabilitate

To “rehabilitate” is to make corrective measures that will make a structure livable again. Some aspects of rehabilitation entail renovation and the introduction of new elements. For example, outmoded electrical circuits would likely be required to be brought up to code to ensure safety and to provide adequate service for modern appliances. When rehabilitating a building, it is essential to protect the structural and decorative characteristics that belong to the architectural style. These are the very features through which the visual integrity and the economic value of the building are preserved. Modern elements should only be introduced when absolutely necessary and in a manner that is sympathetic to the original design.

The rewards of sensitive home improvements are many. First, there is the satisfaction of knowing the job is done right. Second, there is the gratification from compliments of others who appreciate what you have done. Third, there is the pleasure of living or working in an attractive, comfortable and historically preserved building. While these benefits are difficult to measure, such restoration or rehabilitation can result in significant economic benefits. A perceptive combination of restoration and remodeling will actually contribute to the resale value of a home or building. Finally, a good rehabilitation project can be surprisingly influential on an entire neighborhood.

The City of Placerville has adopted ordinances to assure that all development, including development in the Historic Districts, remains compatible with the existing integrity of the district. The Planning Commission reviews development applications involving exterior alterations to building architecture visible from the street on all buildings contained in the *Historic Resources Inventory*, and all existing buildings and new buildings within the Historic Districts. During their decision making process, the Commission considers the guidelines of the *Development Guide*, the Secretary of Interior Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings, and the Site Plan Review Criteria ([Section 10-4-9\(G\)](#)) of the Zoning Code. The Planning Commission has the authority to require modifications in the design to comply with the guidelines, standards and criteria and to reduce the impacts upon abutting properties. A broad-

minded view is used by the City in interpreting these guidelines since individuality is desired.



Historic Resource Inventory Listing Example

DEPARTMENT OF PARKS AND RECREATION  
HISTORIC RESOURCES INVENTORY

HABS _____	HAER _____	NR _____	SHL _____	Lot _____
UTM A _____	B _____	C _____	D _____	

**IDENTIFICATION**

1. Common name: Irvin Apartments

2. Historic name: A.J. Kennedy House

3. Street or rural address: 2977 Bedford Avenue

City Placerville Zip 95667 County El Dorado

4. Parcel number: 02-122-07

5. Present Owner: [REDACTED] Address: [REDACTED]

City Placerville Zip 95667 Ownership is: Public \_\_\_\_\_ Private X

6. Present Use: apartments Original use: residence

**DESCRIPTION**

7a. Architectural style: Classic

7b. Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

This is a classic design house with sawtooth gables, plain boxed cornices, frieze and bracketed corner-extended eaves. The roof is composition and the siding is shiplap with double hung windows having molded trim and shutters with the addition of shelf trim over the lower floor windows. A center, recessed double door entry has inset lower panels below oval glass panels with a transom overhead. Side panels of the recessed, molded trim entry repeat the long-over-short panel design.

An open porch supported by turned wood columns topped by decorative brackets which are repeated on the frieze. Spool and spindle bannisters frame the open wood stairs. The foundation is brick, covered by an early form of concrete.

The exterior of the home is basically as designed, although the shutters may not be original. The home has been extensively refurbished and divided into apartments with additional plumbing being added for such conversion. A separate dwelling and additional porches and stairs, have been added at the rear of the lot.



8. Construction date:  
Estimated \_\_\_\_\_ Factual 1878

9. Architect unknown

10. Builder unknown

11. Approx. property size (in feet)  
Frontage 78 Depth 184  
or approx. acreage .35 Acres

12. Date(s) of enclosed photograph(s)  
1984



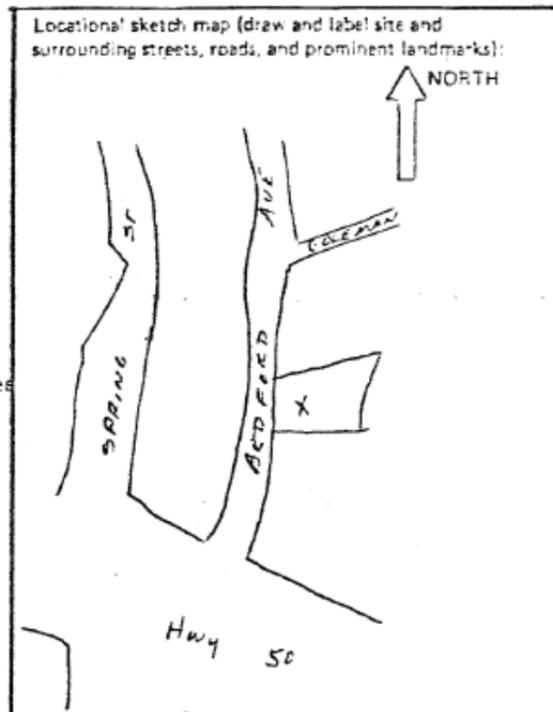
- 13. Condition: Excellent \_\_\_ Good  Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
- 14. Alteration: modification to 5 apartments: addition of separate dwelling in rear
- 15. Surrounding: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built up \_\_\_  
Residential  Industrial \_\_\_ Commercial \_\_\_ Other \_\_\_
- 16. Threats to site: None known \_\_\_ Private development \_\_\_ Zoning \_\_\_ Vandalism \_\_\_  
Public Works project  Other: Street widening
- 17. Is the structure: On its original site?  Moved? \_\_\_ Unknown? \_\_\_
- 18. Related features: Rhyolite stone wall at front of parcel built October, 1878

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

This was one of the largest homes in the City of Placerville and was termed a "mansion" when the Mountain Democrat described its construction in June of 1878. Andrew Jackson Kennedy built the home and lived there with his wife, Liz Coleman Kennedy whom he had married in 1863. Mr. Kennedy was a prominent businessman in Placerville, building a large office building in the downtown area. According to the 1879-1880 McKenny Directory of Northern California, Mr. Kennedy served as the deputy collector for Internal Revenue.

- 20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
Architecture 1 Arts & Leisure \_\_\_  
Economic/Industrial \_\_\_ Exploration/Settlement \_\_\_  
Government \_\_\_ Military \_\_\_  
Religion \_\_\_ Social/Education \_\_\_
- 21. Sources (List books, documents, surveys, personal interviews and their dates).  
City and County Records  
Mountain Democrat records  
Heritage Association files  
Heritage Association members private files
- 22. Date form prepared 2/11/85  
By (name) members of  
Organization Heritage Association  
Address: P.O. Box 62  
City Placerville Zip 95667  
Phone: 622-6649



## B. Additional Study Areas

### 1. Main Street Historic Area

Placerville's frontier mining town origins have left the contemporary community with a valuable legacy of historic buildings and landmarks. The architecture of the Main Street area identifies downtown Placerville as historically significant and determines the City's image and sense of place. The buildings in this area embrace the Main Street right-of-way and create a clearly defined space with distinct boundaries.

There are numerous buildings of architectural merit which represent several eras, including the 1850s and 1860s, the early 1900s, the 1920s, and the 1930s, as listed in the *Historic Resources Inventory* which describes in detail many of Placerville's landmark buildings. Any effort to preserve, rehabilitate, renovate or otherwise enhance an existing building in the Main Street area must demonstrate an understanding of the structure's period, style, and merit in order to secure its place as a contributive and valuable component in Placerville's architectural framework. Specific information of this nature can be found in the *Historic Resources Inventory*. New construction in the Main Street historic area will apply the basic principles of design outlined in this section, and the *Secretary of Interior's Standard for Rehabilitation & Guidelines for Rehabilitating Historic Buildings*, to create buildings that in no way detract from the historic character of the area. Rather, through the application of these principles, new projects will complement and highlight the existing architectural landmarks and re-establish the tradition of quality architecture in downtown Placerville.

It must be noted that the intent of these guidelines is not to create faux historical or western themed architecture but rather to promote innovative design throughout the City, which repeats the forms and integrates elements of the existing architecture of merit that is largely associated with Placerville. Refer to the City of Placerville's Zoning Ordinance for additional information concerning the treatment of historical buildings and other regulations regarding the design and construction of structures in historic districts.



### 2. Upper Main Street, Broadway and Placerville Drive

The



... buildings occupied by franchises or large chains should not employ prototypical designs, but should instead apply specialized architectural forms specific to the historical and cultural context of the Placerville area.

existing architecture in the areas of upper Main



Street, Broadway, and Placerville Drive lacks the positive image and rhythm established within the boundaries of the Main Street historic area. The objective of architectural guidelines for these sections of the city is for development to extract the essential elements of lower Main Street's identity that complements and reinforces its character while functioning effectively in the use for which it is intended. For example, buildings occupied by franchises or large chains should not employ prototypical designs, but should instead apply specialized architectural forms specific to the historical and cultural context of the Placerville area.

### **3. Smith Flat Road, Jacquier Road and Point View Drive**

Although at present the Smith Flat area is fairly undeveloped, a portion of Smith Flat Road has a certain level of historic merit and value because of its uses and structures, leading to the designation of this area as a place for such land uses as "Historic Planned Commercial" and "Historic Planned Residential" upon annexation. New projects in the Smith Flat area, Jacquier Road and Point View Drive, regardless of zone classification, will utilize the architectural concepts outlined in this document to reinforce and continue the historical ambience.

## **C. Design Factors**

### **1. Scale and Proportion**

Scale and proportion are relative terms that describe a structure or element with respect to its surroundings. Further, scale and proportion are critical design factors within a single structure or element. The aesthetic appeal and physical comfort of any design rest heavily on these factors. The following guidelines of scale and proportion will help



to reinforce the architectural character of the downtown area and promote a comfortable, human scale.

- a. Historic buildings, which are renovated or modified in any way, should retain the height, mass, and overall dimensions of the existing structure. In all cases, retain the vertical and horizontal proportions of the overall structure, as well as the proportions of individual elements such as windows and doors. The style and pitch of the structure's original roof should be maintained.
- b. New buildings must be compatible in scale and proportion with surrounding structures. In the Main Street historic area in particular, new buildings should not be more than one story higher or lower than adjacent buildings, and should continue the established pattern of vertical and horizontal proportions of the individual elements of the building façade such as windows and doors.

**RECOMMENDED**

**HEIGHT**

**AVOID**



Con  
of e  
hist  
stre

**RECOMMENDED**

**MASSING**

**AVOID**



Break up uninteresting boxlike forms into smaller, varied masses which are common on most buildings from the historic period.

Avoid single, monolithic forms that are not relieved by variations in massing.



## RHYTHM OF OPENINGS



Respect the alternation of wall areas with door and window elements in the facade. Also consider the width-to-height ratio of bays in the facade.



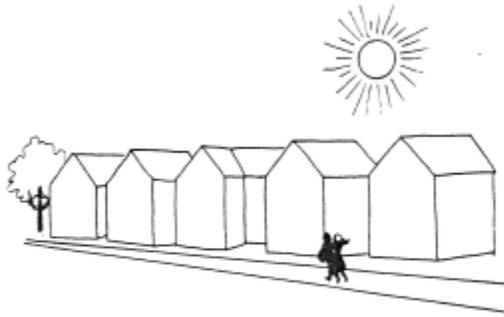
Avoid introducing incompatible facade patterns that upset the rhythm of openings established by the surrounding structures.



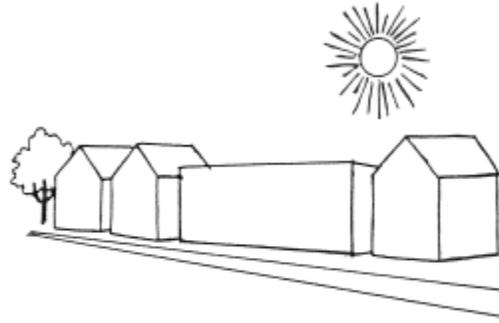
**RECOMMENDED**

**DIRECTIONAL EXPRESSION**

**AVOID**



Relate the vertical, horizontal or nondirectional facade character of new buildings to the predominant directional expression of nearby buildings.



Avoid horizontal or vertical facade expressions unless they are compatible with the character of structures in the immediate area.

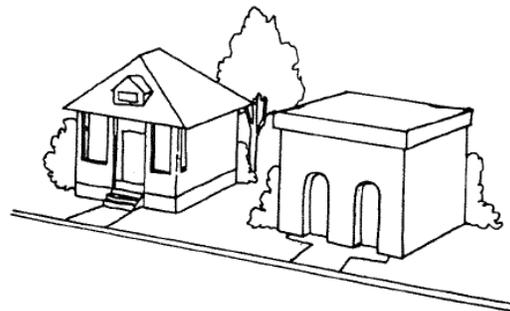
**RECOMMENDED**

**PLATFORMS**

**AVOID**



The use of a raised platform is a traditional siting characteristic of most of the older buildings in Placerville.



Avoid bringing the walls of buildings straight out of the ground without a sense of platform.



## 2. Pedestrian Orientation

In order to integrate the architectural elements of the community fabric into the streetscape as perceived by the pedestrian, factors such as building setbacks and façade articulation must be designed to address the needs of this user group. These factors are employed to establish rhythm, as well as a sequence of spaces that enhance the pedestrian experience.

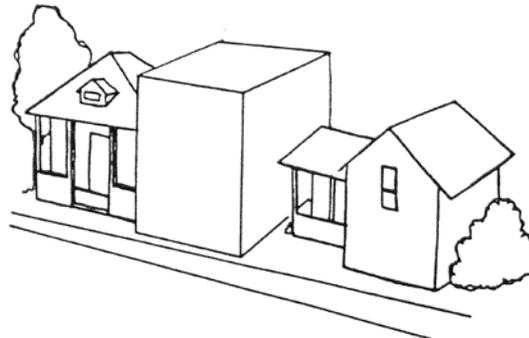
In historic areas, the traditional use of the building should be preserved wherever possible to retain a pedestrian orientation. Typically, a mixed use pattern of retail and commercial uses at street level with residential or office uses above is desirable.

- a. New buildings, building modifications or additions, particularly in the Main Street historic area, should be designed with respect to the existing pattern of setbacks, maintaining the building relationship to the sidewalk.
- b. Recessed entries, framed windows and ledges and other elements of façade articulation such as reveals or corbels and cornices should be retained wherever possible or duplicated if necessary in existing buildings and incorporated into new construction as appropriate.
- c. Colonnades, covered walks and eating areas adjacent to the sidewalk are encouraged to add relief, create light and shadow, and improve the quality of the pedestrian experience.
- d. Residential buildings converted to other uses should maintain landscaped front yards and should not detract from the setback pattern with parking lots or other construction.
- e. Along Main Street, parking lots in the front of the parcel adjacent to the right-of-way are discouraged in order to maintain the integrity of the historical context as well as to emphasize the pedestrian orientation of the streetscape.

### SETBACK



Maintain the historic facade lines of streetscapes by locating front walls of new buildings in the same plane as the facades of adjacent buildings.



Avoid violating the existing setback pattern by placing new buildings in front or behind the historic facade line.



## SENSE OF ENTRY



Articulate the main entrances to the building with covered porches, porticos, and other pronounced architectural forms.



Avoid facades with no strong sense of entry.

## IMITATIONS



Utilize accurate restoration of, or visually compatible additions to, existing buildings. For new construction, architecture that well represents our own time, yet enhances the nature of character of the historic district.



Avoid replicating or imitating the styles, motifs, or details of older periods. Such attempts are rarely successful and, even if done well, present a confusing picture of the true character of the historical area.



### 3. Façade Treatments and Exterior Elements

Placerville's early architecture demonstrates an approach that enhances not only individual buildings but the overall streetscape as well. This is accomplished through the incorporation of details and architectural elements that define the character of each building and group of buildings. Attention to the design, size, placement and rhythm of windows and doors, cornices, recesses, balconies, overhangs and other ornamentation all determine the aesthetic quality and appeal of the façade.



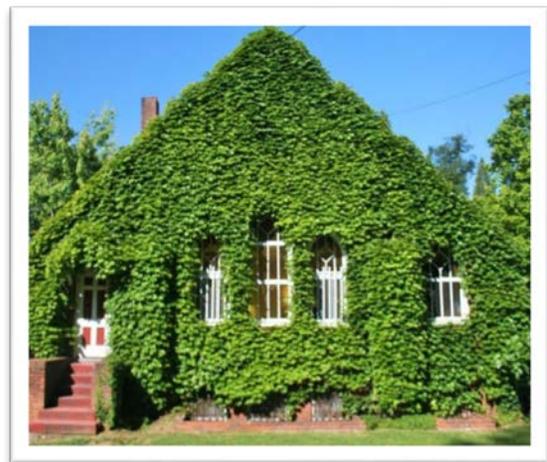
*Attention to the design, size, placement and rhythm of windows and doors...and other ornamentation all determine the aesthetic quality and appeal of the façade.*

- a. If it is necessary to re-construct a historic building, every possible effort shall be made to retain the original façade.
- b. Historic elements and details of existing buildings should be retained whenever possible, rather than removing or replacing them. If it is impossible to retain such a feature, it should be duplicated in terms of location, size, material and method of construction.
- c. If intermediate alterations have been made to an historic structure that has developed historic relevance of their own, new modifications will preserve these elements rather than restoring the building to its original construction.

New buildings should emulate the area's historic architecture using contemporary design

elements. Entry features, balance and proportion of windows, and details such as cornice treatments are important to establish continuity between old and new development.

- e. Building facades adjacent to the right-of-way must demonstrate a pedestrian orientation, with a well-defined entry, windows, decorative elements, and appropriate ornamentation regardless of zoning classifications.
- f. All sides of buildings which are visible from any public right-of-way will incorporate façade treatments, finishes and features which reflect the quality of the overall design. Large windowless facades detract from the building's aesthetic value and will be avoided. Vines on walls are encouraged to soften the hard edges of the architecture and to provide visual interest.



*Vines on walls are encouraged to soften hard edges of the architecture*



g. The roof style and pitch of new buildings should complement the types found in the surrounding neighborhood. Mansard overhangs are discouraged; however, other types of overhangs or awnings should be used as well placed accents to provide shade and visual interest. They should be of wood construction or of high quality weather-resistant fabric. Parapets are also encouraged and should reflect the character of the building's façade.

h. Roof-mounted mechanical equipment will be screened from view in all cases. Window mounted air conditioning units are generally discouraged and will not be permitted to face any major thoroughfare. Conduits or electrical meters will be screened wherever possible.

i. Satellite dishes are communication devices utilized to assist in the viewer's ability to receive video programming signals from direct broadcast satellites, multi-channel multipoint distribution providers and television broadcast stations. The rule of the Telecommunications Act of 1966 (47 CFR 1.4000) applies to viewers who place video antennas or satellite dishes on property that they own and that is within their exclusive use or control, including condominium owners and cooperative owners who have an area where they have exclusive use, such as a balcony or patio in which to install the antenna or dish. The rule applies to town homes, manufactured homes, as well as to single family homes. On January 22, 1999, the Act was amended to also apply to rental property where the renter has exclusive use, such as a balcony or patio. The rule does not prohibit legitimate safety restrictions or restrictions designed to preserve designated or eligible historic or prehistoric properties.

The City's objective is to be consistent with the FCC rulings, but also provide maximum flexibility for individuals to retain the ability to exercise influence over satellite dish locations. The goal is to avoid highly visible installations that significantly affect the visual character of a building and its surroundings.

- I. When possible a satellite dish must be placed in the least visible location.
- II. Whenever a satellite dish is affixed to a building, it must be installed to avoid damaging the structure. For example, when affixed to a masonry structure, it should be attached to mortar joints, not the brick or stone.



*Other types of overhangs or awning should be used as well placed accents to provide shade and visual interest.*



#### 4. Materials and Finishes

Quality materials are a common thread of nearly all architecture of historical merit. A “genuine” appearance in the modification or construction of buildings cannot be achieved with materials, finishes, and colors that ignore the importance of continuity.

- a. The City requires the installation of an approved automatic interior sprinkler system in all new commercial buildings of three thousand six hundred (3,600) square feet or more.

In existing commercial buildings 3,600 square feet or greater, where the floor area of the building or structure is increased by an addition of more than thirty percent (30%) or 1,000 square feet, whichever is less, the City shall require the installation of an approved automatic interior sprinkler system for such building or structure.

- b. Materials and finishes should be compatible with those used in surrounding architecture of historical value. Renovations or rehabilitations of historic buildings that introduce new materials most often destroy the integrity of their historical character, and this approach is discouraged.
- c. Acceptable materials and finishes are dictated by each individual project based on history, surroundings, and whether the building is new or existing. Use materials that are suited to the area and reflect the quality of Placerville’s historic buildings, such as indigenous rock or cobble, brick, appropriately finished exterior plaster, or high quality woods.
- d. Some new materials are inappropriate for old buildings and are discouraged, such as imitation masonry, corrugated fiberglass, simulated wood siding or reflective glass.



*Use materials that are suited to the area and reflect the quality of Placerville’s historic buildings, such as indigenous rock or cobble, brick, appropriately finished exterior plaster, or high quality woods.*



## 5. Color Selections

The Development Guide does not specifically regulate exterior paint color selections, although Planning Division staff and the City of Placerville Planning Commission can assist in the selection of appropriate colors for the style and period of a proposed project.

The following guidelines are provided to encourage the use of paint schemes that are intended to be more historically appropriate as well as enhancing a structure and its character-defining features.

- a. Color schemes should be relatively simple. Use of a single base color for a building is preferred. Use of only one or two major accent colors is encouraged, except where precedent has been set for using more than two colors as in some architectural styles. The complexity of the accent color scheme should be appropriate to the architectural style and period of the building.
- b. Color schemes should be developed that coordinate and unify all facade and roofline elements such as signs, ornamentation, vents, chimneys, gutters, downspouts, cornices, awnings, windows, entrances, etc.
- c. Using the color scheme to establish a sense of overall composition for the building within its context is strongly encouraged.

## 6. Paint Policy

- a. Painting materials, finishes, and textures should be in keeping with the period and style of the existing, adjacent, or contextual historic construction.
- b. Glass, masonry, concrete, or stucco which has not historically been painted should not be painted.
- c. Historic roofing materials unless they were originally painted, such as galvanized sheet metal or terne metal should not be painted.
- d. Use only breathable paints (such as latex or acrylic latex paints), which allow vapors to escape.

- e. Sandblasting, or high-pressure water blasting to remove paint from masonry or wood surfaces, should not be done. It is acceptable to use these methods for paint removal from cast iron or steel surfaces.



- f. Wood which has historically been stained, unless it is necessary to stabilize and preserve existing historic construction, should not be painted.
- g. Where bare wood is exposed in the preparation process, the exposed wood should be primed prior to applying finish coats.
- h. The use of open flame or propane torches to remove paint from siding on historic structures is not permitted.



**Chapter V**  
**SPECIFIC SITE IMPROVEMENTS**



- GENERAL SITE DESIGN GUIDELINES**
- RESIDENTIAL SITE DESIGN GUIDELINES**
- SITE DESIGN GUIDELINES FOR THE MAIN STREET HISTORIC AREA**
- COMMERCIAL AND INDUSTRIAL SITE DESIGN GUIDELINES**



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## V. Specific Site Improvements

Components of site development that are specifically addressed in this section include parking facilities, pedestrian circulation, site furnishings, water features and other elements, which combine to determine the success of any project. Site designs shall preserve and enhance existing site features such as rock and brick walls, and gold rush elements that impart a distinctive character and establish a link to the City's heritage.

### A. General Site Design Guidelines

#### 1. Parking Facilities

- a. Parking areas shall be designed and dimensioned in accordance with all applicable codes and ordinances enforced by the City of Placerville, including factors such as stall aisle size, access driveways, and barrier-free access requirements. Refer to Appendix 'F', Parking Standards, for additional information.
- b. If parking stalls are used that accommodate only "compact" cars, these spaces should be distributed in a logical manner throughout the parking facility rather than concentrated in one area.



- c. Porous pavement materials such as pervious concrete and porous asphalt are encouraged to be used in parking stalls to absorb and filter stormwater. Additional information on porous pavement can be found in LID Fact Sheet 4 and the City's Engineering Design and Construction Standards Manual.

- d. Facilities that address the needs of bicyclists are encouraged. Bicycle racks and/or lockers should be incorporated wherever possible.
- e. In order to mitigate the undesirable effects of parking areas such as heat, light, noise and exhaust fumes, landscaping and canopy shade trees are to be incorporated into the design of all parking facilities.
- f. Areas of Landscaping Required. Landscaping shall be provided in all buffer areas between property lines and the off-street parking areas, to properly screen vehicles from view and minimize the expansive appearance of these areas. A minimum of twenty percent (20%) of the total interior off-street parking areas shall be landscaped, unless the City review authority finds that a lesser or greater percentage would be compatible with the surrounding area.

The total interior off-street parking area shall be computed by adding all areas used for access drives, aisles, stalls, and maneuvering within that portion of the site that is devoted to parking and circulation, excluding entrance drives.

- g. Area of Shading Required. Trees shall be planted and maintained in planters or landscaped areas so that at tree maturity, fifteen (15) years, at least fifty percent (50%) of the total paving area, not including the entrance drives, parking areas under carports, or multi-story parking structures, shall be shaded at solar noon on June 21. This shading requirement shall not apply to the development of single-family residences. On sites with compacted or poor soils and/or drainage, additional measures such as, but not limited to, soil amendments and over-excavation of planting holes, shall be required to ensure that the shading standard can be reached. Active solar arrays may be used in part to meet the shading requirement if approved in conformance with Chapter 4, Section 9: Site Plan Review.



1. Calculations. Shaded parking lot area is determined by using the appropriate percentage of crown square footages as indicated in the Placerville Development Plant List. Overlapping canopies shall not count towards the calculation number, rather tree canopies shall be given full, three-quarter (3/4), one half (1/2), or one-quarter (1/4) credit for shading of parking lot areas. See Figures 2 and 3 of this Chapter.
2. Calculation Table. Landscape shading plans shall include a table that includes the following information:
  - (a) Botanical name and common names of trees;
  - (b) Canopy quantity at full shade, 3/4 shade, 1/2 shade and 1/4 shade per square foot;
  - (c) Total square feet of shade provided;
  - (d) Total parking lot area to be shaded; and
  - (e) Total shade provided.

h. Perimeter Landscaping:

1. Adjacent to Streets. Parking areas, for other than single-family residential and residential duplex uses, adjoining a public right-of-way shall be designed to provide a landscaped planting strip between the right-of-way and parking area a minimum of five feet (5') in depth.

A screening element of 30"-36" in height shall be provided adjacent to all street rights-of-way to mitigate the visual impact of on-site parking facilities. This screen shall be achieved through the use of shrubbery, or the use of walls that complement the site's architecture or a combination of these elements. On parcels along Placerville Drive, the use of landscape berms for screening is also encouraged.

i.

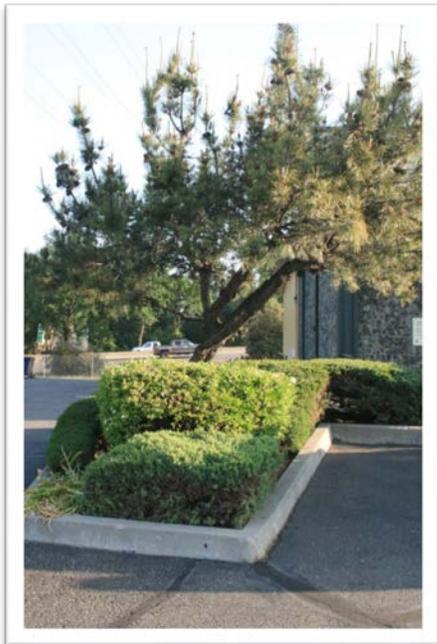


1. Planter Strips Between Parking Aisles. Planter strips and islands shall be, at a minimum, six feet (6') wide, measured inside the curbing, in an amount to fulfill the fifty percent (50%) shading and parking landscaping requirement. Adequate pedestrian paths shall be provided throughout the landscaped areas. Clustering of trees may be approved by the Development Services Department or review authority.
2. Areas Not Used for Parking. Areas in a parking lot not used for driveways, maneuvering areas, parking spaces, or walks shall be landscaped and permanently maintained.
- j. Curbing, Irrigation. All areas containing plant materials shall be bordered by a concrete curb at least six inches (6") in height and six inches (6") in width and provided with an approved automatic irrigation system. An alternative barrier design to protect landscaped areas from vehicle damage may be approved by the Development Services Department.
- k. A list of acceptable parking lot shade trees can be found in Appendix "A" of this document and Figure 3 of this Chapter. Parking areas should contain at least two (2) tree species, with at least one type being a large shade tree and at least one type of accent tree to delineate aisles and announce entries.
- l. Trees should be placed in planters at least eight (8') feet by eight (8') feet in dimension, with



only one tree in any planter of this size. Larger planters are encouraged.

- m. One landscape planter that is ten feet (10') wide and extends to within three (3') feet of the entire length of the parking stall shall be provided for every ten (10) linear parking stalls. Each planter of this type must provide at least two (2) parking lot shade trees.
- n. All parking lot planters and landscape areas shall be planted with live landscape materials. Plants shall be quantified, spaced and sized so that, when mature, they will substantially fill the planter area. Native, drought tolerant, and fire resistant plants are highly encouraged for landscaping planters. Cobbles, gravel, bark or other mulches are not acceptable substitutes for living plant materials; therefore, they should be used in moderation. Landscape treatments and shrub plantings shall be located as not to impair visibility for pedestrians or motorists. In areas where plants are susceptible to damage by



*...landscape areas shall be planted with live landscape materials that will ultimately achieve 100% coverage of the planter area.*

vehicular traffic or pedestrian circulation, the landscape materials shall be protected by appropriate curbs, tree guards, or other acceptable means.

- o. In order to promote water conservation, turf is not permitted.
- p. Storm water treatment for parking lots using bioswales and bioretention facility options can be incorporated into required landscaping areas. Additional information can be obtained from the following resources:
  - Section IX, Landscape Maintenance;
  - LID Fact Sheet 1 (Appendix G);
  - [Storm Water Quality Ordinance](#);
  - Design and Construction Standards Manual.





Parking Lot for Commercial Development

Sidewalk and Street

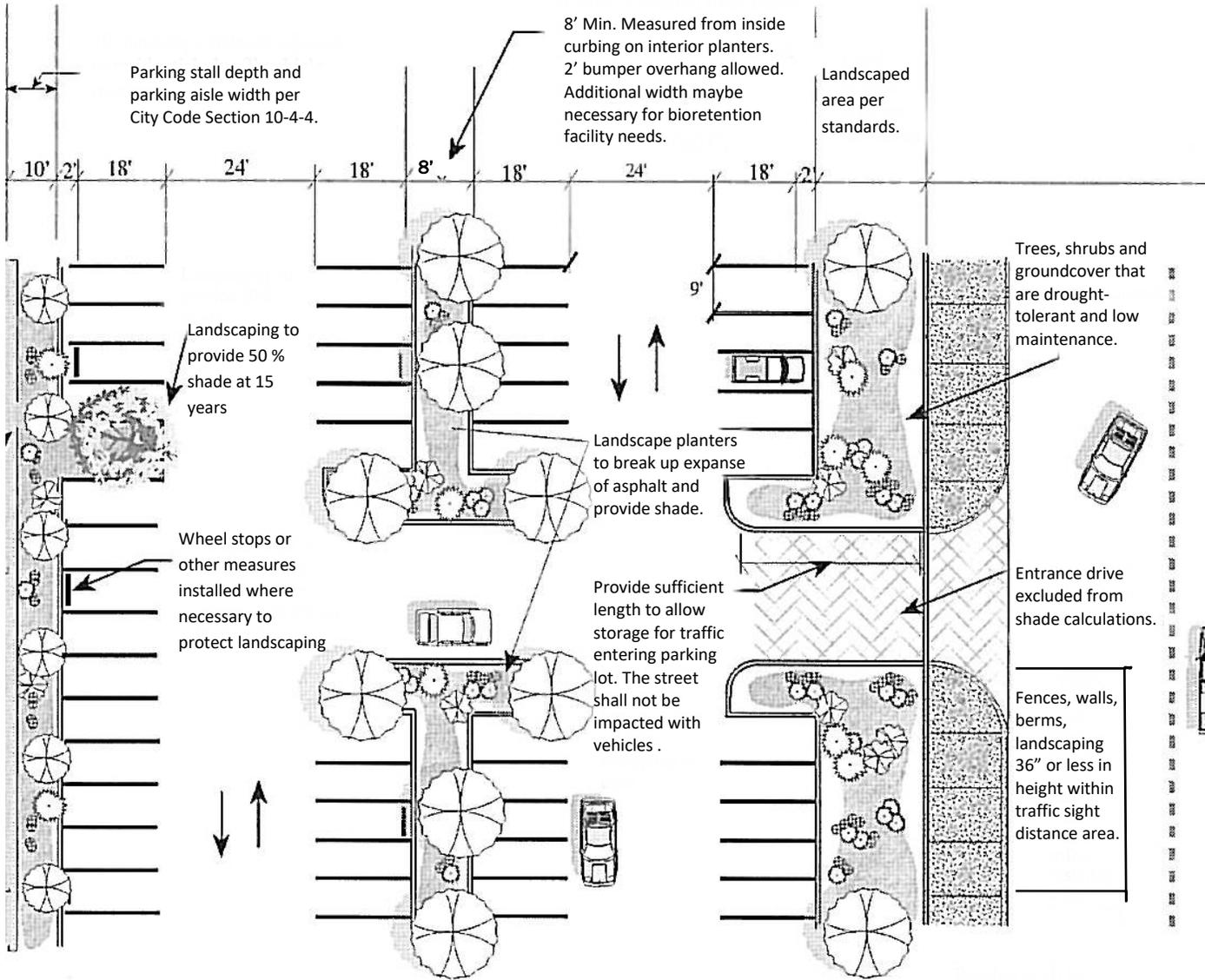
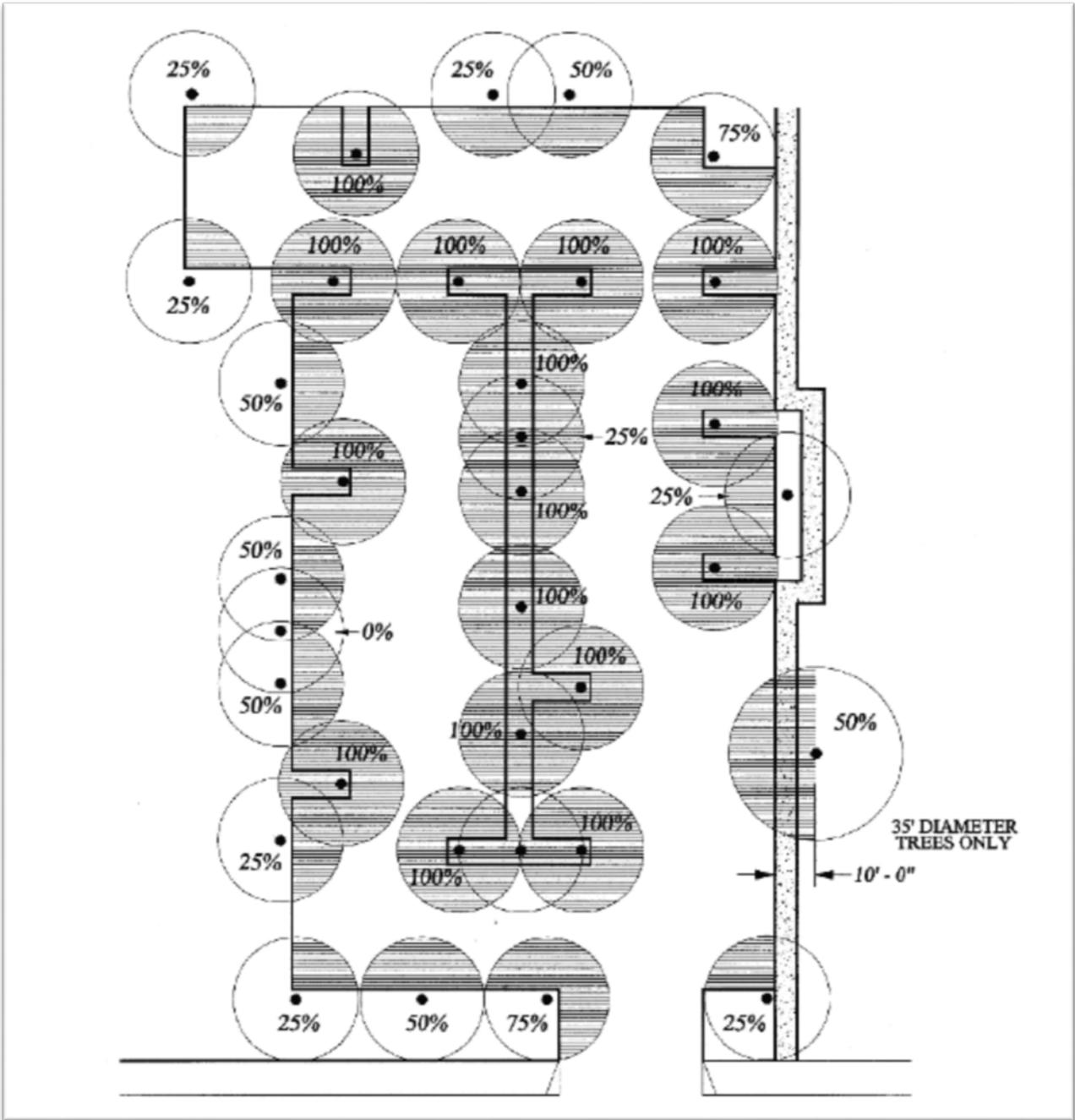


Figure 1: Parking Lot Layout Example





**Figure 2: Parking Lot Shading Credits**

**Notes:**

1. This diagram is intended to reflect the manner in which shade is credited under various conditions. It is not necessarily an illustration of 50% coverage at fifteen years.
2. Trees may receive 25%, 50%, 75% or 100% credit as shown.
3. Shade overlap is not counted twice.



**Figure 3: Plant List Trees**

<b>35 feet Diameter Trees at 15 Years</b>				
Shading Calculations: 100% = 962 square ft; 75% = 722 square ft; 50% = 481 square ft; 25% = 240 square ft				
<b>COMMON NAME Botanical Name</b>	<b>Height To (Feet)</b>	<b>Growth Rate</b>	<b>Roots</b>	<b>Remarks</b>
ALDER, WHITE <i>Alnus rhombifolia</i>	50	Rapid	Shallow	Deciduous
BAY, CALIFORNIA <i>Umbellularia californica</i>	75	Slow	Deep	Deciduous, good drainage, drought tolerant
BEECH, EUROPEAN <i>Fagus sylvatica</i>	90	Moderate	Shallow	Deciduous
CHINESE PISTACHE <i>Pistacia chinensis</i>	50	Moderate	Deep	Deciduous, provides filtered shade, fall color
MAPLE, BIG LEAF <i>Acer macrophyllum</i>	75	Moderate	Shallow	Deciduous, high water use
MAPLE, BLACK <i>Acer platanoides</i> 'Crimson King'	75	Moderate	Shallow	Deciduous
MAPLE, RED <i>Acer rubrum</i>	50	Moderate	Medium	Deciduous, deep watering to keep roots down
OAK, CALIFORNIA BLACK <i>Quercus kelloggii</i>	100	Moderate	Deep	Deciduous
OAK, BLUE <i>Quercus douglasii</i>	50	Moderate	Deep	Deciduous
OAK, CANYON LIVE <i>Quercus chrysolepis</i>	60	Moderate	Deep	Evergreen
OAK, CORK <i>Quercus suber</i>	60	Moderate	Deep	Evergreen
OAK, INTERIOR LIVE <i>Quercus wislizeni</i>	75	Moderate	Deep	Evergreen
OAK, PIN <i>Quercus palustris</i>	80	Moderate	Moderate	Deciduous
OAK, RED <i>Quercus rubra</i>	70	Fast	Moderate	Deciduous
OAK, SCARLET <i>Quercus coccinea</i>	60	Fast	Deep	Deciduous
OAK, VALLEY <i>Quercus lobata</i>	90	Rapid/ Moderate	Deep	Deciduous
SYCAMORE, CALIFORNIA <i>Platanus racemosa</i>	70	Fast	Shallow	Deciduous
ZELKOVA <i>Zelkova serrate</i>	50	Moderate	Medium	Deciduous, drought tolerant



<b>30 feet Diameter Trees at 15 Years</b>				
Shading Calculations: 100% = 706 square ft; 75% = 530 square ft; 50% = 354 square ft; 25% = 177 square ft				
<b>COMMON NAME Botanical Name</b>	<b>Height To (Feet)</b>	<b>Growth Rate</b>	<b>Roots</b>	<b>Remarks</b>
CEDAR, DEODAR <i>Cedrus deodara</i> var.	80	Fast	Deep	Requires ample space
GOLDENRAIN TREE <i>Koelreuteria paniculata</i>	35	Slow Moderate	Deep	Deciduous, mod. irrigation, flowers, litter
HORNBEAM <i>Carpinus betulus</i>	40	Moderate	Medium	Deciduous, densely pyramidal
REDWOOD, CALIFORNIA <i>Sequoia sempervirens</i>	70	Fast	Deep	Evergreen, conifer
TULIP TREE <i>Liriodendron tulipifera</i>	60	Moderate	Medium	Deciduous, susceptible to asphids, cause dripping
<b>25 feet Diameter Trees at 15 Years</b>				
Shading Calculations: 100% = 491 square ft; 75% = 368 square ft; 50% = 246 square ft; 25% = 123 square ft				
MAPLE, JAPANESE <i>Acer palmatum</i>	30	Moderate	Shallow	Deciduous, fall color, part to full shade
DOGWOOD <i>Cornus florida</i>	20-25	Slow	Medium	Deciduous
SYCAMORE, LONDON PLANE <i>Platanus x acerifolia</i>	50	Fast	Medium to Deep	Deciduous
WILLOW, ARROYO <i>Salix lasiolepis</i>	35	Moderate	Moderate	Deciduous
<b>To 20 feet Diameter Trees at 15 Years</b>				
Shading Calculations: 100% = 314 square ft; 75% = 236 square ft; 50% = 157 square ft; 25% = 79 square ft				
FLOWERING CHERRY <i>Prunus virginiana</i> , <i>P. serrulata</i> var.	60	Moderate	Medium	Deciduous
FLOWERING PLUM <i>Prunus x blireana</i>	25	Moderate To Fast	Medium	Deciduous
INCENSE CEDAR <i>Calocedrus decurrens</i>	75-90		Deep	Evergreen
TUPELO <i>Nyssa sylvatica</i>	40	Slow	Deep	Deciduous, fall color tolerate poor drainage



**2. Private Driveways and Streets**

- a. Enhanced paving such as colored, textured concrete, unit or specialty pavers are encouraged at driveway entries and cross-walks to highlight the areas, to orient pedestrians and to direct vehicular circulation.

Private roads and driveways can utilize pervious concrete and porous asphalt to absorb runoff and storm water.

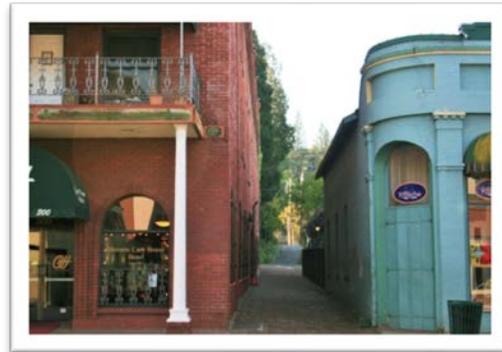
- b. Private roads or driveways within site developments should be landscaped with trees, shrubs and groundcovers in a manner consistent with the adjacent public right-of-way.
- c. Fire safety is an important consideration in the designing and treatment of private roads and driveways. Refer to the State of California’s SRA Fire Safe Regulations PRC 4290 – Title 14 CCR for additional information.
- d. Stormwater treatment practices such as bioswales and bioretention facility options should be included in the street design to allow for open treatment and conveyance of stormwater.
- e. Consider including a landscaped island at the terminus of a cul-de-sac, which could potentially accommodate extra parking for residents and bioswales or bioretention facility options. The design must allow for fire/emergency and refuse vehicle access and circulation.
- f. Refer to Item D, Commercial and Industrial Site Design Guidelines, in this section for additional information.

**3. Sidewalks and Pedestrian Circulation**

All site designs concepts for parcels as they abut public and private streets shall provide walks and amenities which facilitate pedestrian circulation and minimize conflict with vehicular traffic. Sidewalks may be provided directly adjacent to the curb, or preferably, detached from the curb with a landscaped buffer area between the walk and the vehicular path of travel. All walks are to be designed and constructed in accordance with all codes and ordinances of the City of Placerville, with

consideration of textured concrete, specialty pavers, pervious concrete or colors to provide an inviting and stable appearance for walking.

- a. Properties that abut major pedestrian corridors such as Miner’s Alley, Quartz Alley, the pedestrian/bicycle trail network, or other linkages must address the needs of the pedestrian in providing access and visual and physical amenities in addition to traditional usage as service or delivery access points.
- b. Linkage of commercial areas to residential areas through the incorporation of sidewalks, paseos, paths, and gateways in fences is encouraged wherever possible, to facilitate connection and to reduce dependence on the automobile.



*Major pedestrian corridors such as Miner’s Alley, Quartz Alley and other linkages address the needs of the pedestrian*



- c. Orientation and direction are critical elements of circulation, and a clear path of travel for pedestrians and motorists must be evident in all developments.
- d. Ramps and facilities to provide barrier-free access must be designed to coordinate visually and functionally with the overall building and site design. Location, materials, finishes, and landscape treatments for these facilities should reflect careful consideration of the users' needs, as well as aesthetics.
- e. Where appropriate, use multiple-use soft paths made out of materials such as decomposed granite, bark, or compacted rock to create a more environmentally sensitive surface.

- b. Water features shall be designed with recirculating pumps and automatic fill devices, as well as automatic filtration systems. It should



*...features such as pools and fountains are pleasant visual amenities which should be incorporated into the overall site design...*

#### 4. Site Furnishings

Site furnishings and pedestrian amenities such as benches, seat walls, tables, drinking fountains and trash receptacles are an important element of all site developments. These features shall be selected and designed to contribute to the overall atmosphere and sense of place of the community. Site furnishings shall be of high quality, long lasting and durable materials, simple and functional in design, and fit well into the context of the space in which they are located. Where appropriate site furnishings and displays should integrate historical features and elements which evoke the traditional character of the City of Placerville.

be noted that features utilizing recirculating pumps generally consume less water than planted landscapes.

- c. Water shall be constantly in motion, as not to allow the development of algae or other undesirable conditions.

#### 5. Water Features

- a. Natural water bodies such as Hangtown Creek and features such as pools and fountains are pleasant visual amenities that should be incorporated into the overall site design to create spaces to gather and socialize.



## 6. Screening

- a. All storage, loading and utility areas, as well as meters, backflow prevention devices, and other mechanical equipment shall be screened from view from all public rights-of-way. Acceptable screening materials include plant materials as listed in Appendix 'A', landscape berms, or walls that complement the site's architecture at heights, which in no way obstruct the vision of motorists or pedestrians. Chain link fencing or chain link with redwood slats are not acceptable screening materials.

Screening shall be provided in such a manner as to allow access as necessary for operation and maintenance. Clearances shall be in accordance with the requirements of the appropriate local utilities.

- b. Outdoor refuse collection areas, mechanical equipment and propane tanks shall be screened with live landscape materials in planters of at least eight (8') feet in width along three (3) sides of the unit, except where one side of the utility or equipment area is a building. Provide access in accordance with the requirements of the regulating utility. In commercial areas, mechanical equipment, backflow prevention devices and propane tanks should be accommodated underground wherever possible.

Trash enclosure structures shall be integrated with the design of the building through the use of consistent materials and detailing. Whenever possible, adjacent developments should coordinate joint refuse collection facilities, providing access and visual and physical amenities in addition to traditional usage as service or delivery access points.



*Outdoor refuse collection areas, transformers and propane tanks shall be screened with live landscape materials... shall be integrated with the design of the building...*



## B. Residential Site Design Guidelines

Many residents of Placerville feel that the City's small town, rural quality is its most significant asset. As stated in the City's *General Plan*, this quality is characterized by a sense of neighborhood and community, a relaxed pace and lifestyle, and a sense of individuality. In order to preserve and enhance these qualities, the quantity and type of future residential development that occurs in the city must be of a clearly contextual nature. This means that the integrity of existing neighborhoods must be maintained in the process of infill development and annexation. New projects should extend and contribute to the sense of community by introducing compatible, high quality development at a rate of growth that the existing neighborhoods can effectively accommodate without traffic congestion, water shortages or other problems.

Residential zoning classifications have been delineated by the City's *Zoning Ordinance*, which establish many fundamental requirements for compatibility of new projects, including allowable density, parcel area, minimum yards and frontages, maximum building heights, and maximum building coverages. Additionally, it is the intent of this section to provide general recommendations for residential development that promote the community design policies of the City's *General Plan*. The specific goals of the *General Plan* with respect to housing are as follows (refer to Section II of the *General Plan* for additional information):

- Goal A: To provide a range of housing choices in terms of type, density, cost, and tenure to meet the needs of all economic segments of the community, while maintaining the unique rural character of Placerville.
- Goal B: To encourage maintenance and continued improvement of the existing housing stock and residential neighborhoods.
- Goal C: To promote the integrity and reinforce the identity of existing residential neighborhoods.

Goal D: To ensure the provision of adequate services to support existing and future residential development.

Goal E: To promote equal opportunity to secure safe, sanitary and affordable housing for everyone in the community regardless of race, sex, and other arbitrary factors.

Goal F: To encourage energy efficiency in new and existing housing.

Goal G: To prevent loss of lives, injuries, and property damage due to wildland and urban fires.

In order to facilitate these goals and to promote a "good neighbor" policy for future residential development, the following guidelines shall apply wherever practicable:

1. Residential parcels within subdivisions or the City's historic districts should be landscaped in all areas that are visible from any pedestrian or vehicular corridor within ninety (90) days of occupancy.  
  
Exceptions may be made by the Planning Commission to allow natural landscaping that is generally attractive, uncluttered and does not present a fire fuel problem.
2. Street trees should be incorporated into residential landscapes as to complement the program set forth herein. Refer to Section VI, Landscape Design Guidelines, for additional information
3. Architectural elements of new construction will demonstrate continuity with existing structures. Height limits are dictated by the City's *Zoning Ordinance*; however, new buildings should be of generally the same proportions as the neighboring structures and should not vary in height more than one story taller or shorter than the surrounding buildings.



4. The architectural guidelines set forth in this document with respect to design factors such as scale, proportion, materials, and color selection apply to residential development.

Additionally, residential construction in areas of high and extreme fire hazard should incorporate measures such as Class A roofs, enclosed decks, vents, eaves, slant roofs, and deflectors. Refer to Section IV of this Development Guide for additional information.



5. Hillside residential developments should apply the specific recommendations provided in the City's *Sloping Parcel Ordinance*. In general, stilted or stepped foundations should be utilized rather than pad foundations, and all aspects of the development should be geared to minimize cuts and fills of the existing grades. Disruptions of the existing drainage patterns should be minimized. All drainage must be accommodated within the boundaries of the subject parcel, draining to an approved drainage system, with no additional run-off permitted to leave the site.
6. New and infill residential projects should carefully consider the neighboring parcels with attention to maintaining visibility and vistas, as well as minimizing any negative visual impacts of the proposed development.
7. All property owners within five hundred feet (500') of the subject site are to be informed of the proposed development as part of the application process.

8. Areas of high and extreme fire hazards shall be the subject of special review where hazards are mitigated to a point that is acceptable to the El Dorado County Fire District.
9. All new development in areas of high and extreme fire hazards as illustrated in Figure VIII-3 in the *Background Report* for the City's *General Plan* shall be constructed with fire retardant roof coverings.
10. All new development in areas of high and extreme fire hazards as illustrated in Figure VIII-3 in the *Background Report* for the City's *General Plan* shall provide for clearance around the structures and the use of fire-resistant groundcover. Refer to Item J, Fuel Modification Zones, in this section for additional information.
11. The City of Placerville shall continue to aggressively enforce its fire code and weed abatement regulations.
12. The City shall remove obstructions that obscure street signs and it is required that house numbers be clearly visible and legible from the street.



**C. Site Design Guidelines for the Main Street Historic Area**

1. Parking facilities should be kept to the sides or to the rear of the building.
2. Careful design and siting of outdoor refuse collection areas are important in any attempt to maintain the historical ambience of Main Street. The materials, style, and color of these enclosures should be in keeping with the character and theme of the district.
3. Public sidewalks, alleys, or other pedestrian corridors are an integral part of the area's ambience and should receive consideration for their contribution to the community fabric. New site development should reinforce the quality of the established fabric, and shall not detract from it in any way.
4. Public spaces such as courtyards, eating areas and gathering spaces are encouraged. Site furnishings for these areas should be continuous in character over the entire length of Main Street. Other features such as light standards, utility boxes, telephone booths, trash receptacles, or newspaper racks should be of a uniform design which is in keeping with the historical ambience.

Seating and other opportunities for interaction, visual amenities such as sculpture or other public art, areas to eat or rest, and amenities such as fountains or water features, which encourage visitors to linger are important elements in any site development. Courtyards, small plazas, paseos, and other accent spaces should incorporate extensive landscape treatments including shade and accent trees, shrubs, groundcovers and vines selected from the lists in Appendix 'A'.



*Seating and other opportunities for interaction  
...areas to eat or rest...encourage visitors to linger  
are important elements in any site development.*



#### D. Commercial & Industrial Site Design Guidelines

1. Each parcel shall provide landscape treatments at the entry drive to establish a sense of arrival. Accent trees as listed in Appendix 'A' as well as shrubs, groundcovers and other accent plantings should be used for this purpose. Maintain sight distance and visibility requirements in accordance with all local codes and ordinances.
2. Entrance planter islands to separate ingress and egress driveway traffic are encouraged. Accent trees and low growing shrubs and/or groundcover under 36" in height should be planted within these islands.
3. Enhanced paving accents in quality materials such as colored asphalt, brick, colored and textured concrete, or interlocking paving stones are encouraged in walks, entry drives, and parking area crosswalks, as well as nodes or courtyards to add variety and interest and to promote an image of quality.



*Enhanced paving accents in quality materials such as brick, colored and textured concrete, on interlocking paving stones are encouraged...*

4. Amenities for employees, customers and other visitors are strongly encouraged in all new site developments. Proposed site designs should capitalize on existing features such as creeks, existing vegetation, rock outcroppings or views to the hills as focal elements for public spaces.
5. In any commercial, industrial or multi-family residential development, the City shall ensure that all structures are located with access useable by fire trucks and other emergency equipment.

6. Areas of high and extreme fire hazards shall be the subject of special review, and building and higher intensity uses shall be limited unless the hazards are mitigated to a point that is acceptable to the El Dorado County Fire District.
7. All new development in areas of high and extreme fire hazards as illustrate in Figure VIII-3 in the *Background Report* for the City's *General Plan* shall be constructed with fire retardant roof coverings.
8. All new development in areas of high and extreme fire hazards as illustrated in Figure VIII-3 in the *Background Report* for the City's *General Plan* shall provide for clearance around the structures and the use of fire-resistant groundcover. Refer to Item J, Fuel Modification Zones, in this Section VI for additional information.
9. The City of Placerville shall continue to aggressively enforce its fire code and weed abatement regulations.
10. The City of Placerville encourages El Dorado County Fire District to maintain a regular program of fire safety inspection of commercial and industrial buildings.
11. Commercial structures with rear street access shall be identified with the business name and street address in a clear and conspicuous manner on the rear of the building.



**Chapter VI**  
**LANDSCAPE DESIGN GUIDELINES**



**GENERAL REQUIREMENTS**

**STREET TREE PROGRAM**

**MAIN STREET HISTORIC AREA**

**UPPER MAIN STREET, BROADWAY AND PLACERVILLE DRIVE**

**SMITH FLAT ROAD**

**COMMUNITY INTERSECTIONS (SURFACE STREETS)**

**WATER-CONSERVING LANDSCAPES**

**PUBLIC UTILITY EASEMENTS**

**FUEL MODIFICATIONS ZONES**

**POST-CONSTRUCTION STORM WATER MANAGEMENT**



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## VI. Landscape Design Guidelines

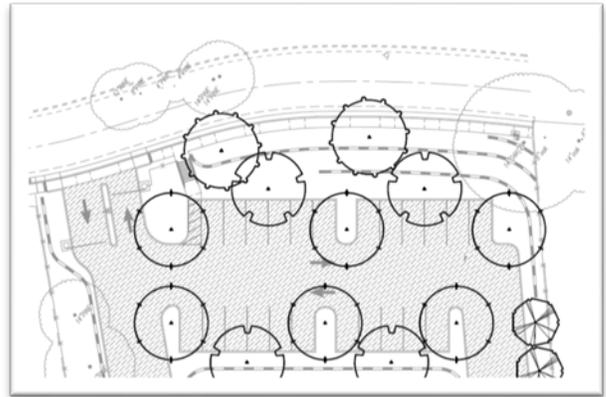
Every development in the City of Placerville will be unique, with qualities and design elements that identify and separate it from the rest. However, in order for the concept of community design to be successful, a certain degree of consistency is necessary. Landscape setbacks are an extremely effective method of integrating individual projects into a cohesive whole. The guidelines outlined in this section establish a hierarchy of landscape features based on street rights-of-way and other special considerations. Additional information and requirements regarding landscape treatments are found in Section V, Specific Site Improvements.

### A. General Requirements

Any parcel in the City of Placerville with a portion of its perimeter fronting on a public right-of-way has an opportunity and a responsibility to establish itself as a contributor to the overall community fabric. This is the essence of community design, which is a fundamental concept of the [General Plan](#). To this end, the following requirements apply to all street rights-of-way and the adjacent parcels, within the scope of this document. Refer also to Section III, Land Use and Zoning, for additional information and requirements and procedures governing applications of Conditional Use Permits, Variances, Rezoning, Tentative Subdivision and Parcel Map and Site Plan Review. Setbacks and requirements except as outlined herein shall be in conformance with the City of Placerville's [Zoning Ordinance](#).

1. Sidewalks of at least four (4') feet in width shall be placed within the right-of-way or sidewalk easement on at least one side of the street and shall conform to all local codes and specifications for sidewalk construction. Walks may be placed directly adjacent to the curb, but it is preferred that the walks be detached, providing a landscaped buffer between the pedestrian and the vehicular path of travel.
2. All trees should be located outside of the right-of-way to avoid future removal.
3. Where trees are placed within five (5') feet of any wall or paved surface, root deflectors must be provided.

4. All trees shall be placed as to respect visibility clearances at driveways and intersections, and shall be placed as not to inhibit the light pattern of electroliers.
5. All street trees must be from a minimum fifteen (15) gallon container size or equal. Larger plant materials such as 24" or 36" box trees are strongly encouraged.



In addition, a minimum 35% of the total quantity of trees and shrubs selected for planting plans submitted for Site Plan Review, Conditional Use Permit or other discretionary applications shall be native, as classified within the Appendix A Plant List.

6. It is not the intent of these requirements to remove any existing trees in order to provide a new street tree. Where new development occurs, the requirements outlined in this section shall be modified only as necessary to retain an existing tree that has been determined to meet the standards of the City of Placerville's Development Services Department.
7. A screening element of 30"- 36" in height shall be provided adjacent to all street rights-of-way, except in the lower Main Street historic area. This screen shall be achieved through the use of shrubbery, berming and stone or brick walls that complement the site's architecture. A combination of these elements is acceptable.
8. Recommended planting methods and standard installation details are found in Appendix 'B' of this Development Guide.



9. Plaza areas and niches for gathering and socializing that incorporate site furnishings and seating opportunities into the streetscape are strongly encouraged. These areas should be accented through the use of paving enhancements. Some paving types appropriate for these applications include colored, textured concrete, interlocking paving stones or unit pavers, or specialty pavers such as tile or granite. The actual configuration of these areas should demonstrate a contextual relationship to the character of the street and its architecture.
10. Where possible, incorporate rain gardens in road right of ways to capture street runoff. Bioretention facilities such as rain gardens will require curb cuts to divert stormwater flows into the facility, and will be landscaped with native grasses. See Section XI, Landscape Maintenance, and LID Fact Sheet 1, Appendix G for more details.
  - a. Consider using tree box filters where possible as a mini bioretention facility. These can be designed as flow-through planters with under drains that do not allow infiltration into underlying soils, or designed with drainage holes that would allow infiltration into underlying soil.



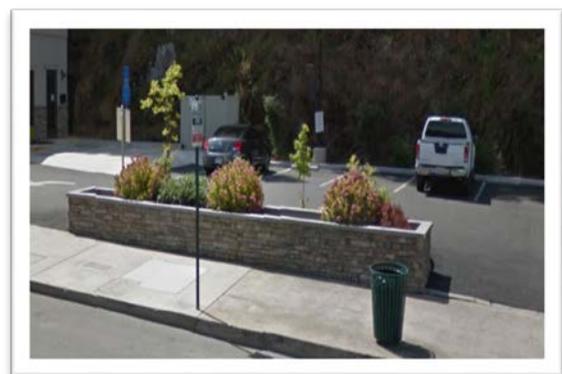
11. Fencing, when utilized within a commercial or multi-family residential development project, or when required under the Placerville [Zoning Ordinance](#), will utilize materials, colors, and finishes that are employed on existing or proposed buildings within the development.

## B. Street Tree Program

The canopy that will be created by trees lining the City’s streets will unify and define the rights-of-way and provide much needed shade in a warm summer climate. The rights-of-way addressed in the Development Guide should be planted with street trees selected from a palette that allows diversity; however, the community design elements of consistency and continuity also require compliance with the City’s *Master Street Tree Plan*. The *Master Street Tree Plan* is an implementation program of the [General Plan](#). Information regarding the Master Street Tree Plan is provided as part of Appendix A of the Development Guide.

## C. Main Street Historic Area

There is no historical foundation for expansive landscape areas along the lower end of Main Street that would alter the traditional pattern of building setbacks. Instead, landscaping should be used to highlight buildings as a simple but important accent. For example, trees in cast iron grates with wrought iron guards are a traditional landscape element in this type of situation, and should be employed whenever street trees are planted along this right-of-way. Benches and large stone, clay or decorative concrete planter pots with accent plantings are also very appropriate in this area and are encouraged.



*Benches and large stone, clay or decorative concrete planter pots with accent plantings are also very appropriate in this area and are encouraged.*



**D. Upper Main Street, Broadway, Jacquier Road and Placerville Drive**

Arterial streets within the scope of this Development Guide are the upper portion of Main Street, Broadway, Jacquier Road and Placerville Drive, to which the following guidelines shall apply.

1. Trees should be placed in a fifteen (15') foot wide minimum landscape setback beginning at the right-of-way line. Setbacks for parcel perimeters that do not abut the right-of-way shall be as delineated within the City of Placerville's [Zoning Ordinance](#).
2. Street trees should be placed at distances no greater than thirty (30') feet on center along the entire perimeter of the parcel adjacent to the right-of-way. All trees must be selected from the street tree list of the Master Street Tree Plan. No more than two (2) varieties should be used within this setback on any one parcel.



3. The ground surface within the landscape setback shall be planted with live landscape materials that will ultimately cover 100% of the planter area. This shall include any landscape space to the back of sidewalk within the right-of-way. **Synthetic landscape materials such as "astro-turf" are not acceptable.**

**E. Smith Flat Road**

Smith Flat Road is classified as a collector street by the General Plan and is within the scope of this document. The Smith Flat area represents the eastern gateway to Placerville and the properties in this location should recognize the necessity to identify and define the entry to the City.

Working closely with the City's representatives, developers of parcels in this area must emphasize the community design concept and incorporate quality signage of a civic nature, monumentation, public art or water features with accent plantings and other landscape improvements that announce the community gateway, establish a sense of arrival, and begin to define Placerville's image.

The following guidelines shall apply along the Smith Flat right-of-way.

1. Trees should be placed in a fifteen (15') foot wide minimum landscape setback beginning at the right-of-way line.
2. Trees should be placed in irregular, naturalistic patterns that preserve the rural character of this corridor, with a total of at least four (4) trees provided per one hundred (100') linear feet of street right-of-way adjacent to the parcel. Street trees for this right-of-way should be selected from the list provided in the City's adopted master Street Tree Plan. No more than three (3) tree species per parcel should be used within this setback.
3. The ground surface within the landscape setback should be planted with live landscape materials that will ultimately cover 100% of the planter area. This shall include any landscape space to the back of sidewalk within the right of way. Synthetic landscape materials such as "astro-turf" are not acceptable.



## F. Community Intersection (Surface Streets)

Driveways and street intersections require special plantings and accent treatments and should clearly identify these nodes for pedestrians as well as motorists. Focal elements that terminate views such as water features, public art, or other monumentation are encouraged in these areas, located as not to impede circulation and as not to pose risks for public health and safety. Features in the streetscape such as the Bell Tower, the Druid Monument, veterans' memorials, and other visual amenities define spaces and create distinctive landmarks. Signage used in these focal areas must exemplify high standards of quality and durability in materials and design.

## G. Highway 50 and Highway 49 Intersections

Presently the design elements of most major entry points into the City of Placerville lack visibility and impact. Intersections along the major arterial rights-of-way of Highways 49 and 50 are easily identified as potential community portals or gateways. An important aspect of site improvements adjacent to any one of these intersections will be cooperative efforts between the project proponents and City staff in order to use these locations more effectively as community gateways. Easements should be provided for monumentation, signage, landscape treatments and other enhancements that will work together to orient and direct pedestrians and motorists into the community.

## H. Water-Conserving Landscapes

### i. General Guidelines

All Landscape improvements within the City of Placerville should be designed with a water-conserving planting concept as described in this section. The intent of these guidelines is to minimize the application of supplemental water.

1. Turf areas should be limited to twenty-five percent (25%) of the total landscape area of the site for all non-residential developments.
2. Recreational amenities that require the use of turf shall be exempt from the 25% turf limitation for the areas of play only.
3. Turf selections should be limited to drought tolerant tall fescue blends.



4. Plants with similar water use requirements should be grouped together into "hydrozones" to maximize efficiency of irrigation.
5. Plants selected should be well-suited to the Placerville environment, with special attention and emphasis given to native, drought tolerant and fire resistant species. Refer to the lists of plant materials in Appendix 'A' of this document for additional information.
6. Residential, commercial, and industrial sites are encouraged to include a buffer strip between lawn or turf and pavement or cement surface that does not require watering from sprinklers. A buffer strip planted with native, drought tolerant plant species can capture sprinkler overspray and intercept runoff from lawns.
7. Consider using rain barrels as detention devices in residential, commercial, and industrial sites. Connect to rooftop runoff to store for use in landscape watering.

More sophisticated methods of rain water harvesting are also encouraged to be incorporated in residential, commercial, and industrial sites, such as cisterns and temporary stormwater ponds. Refer to LID Fact Sheet 2 for more information.



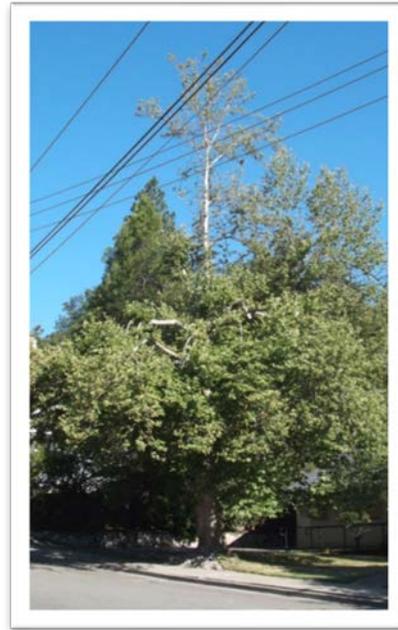
**ii. Water Efficient Landscape Regulations**

The following development project types shall be subject to the City’s Water Efficient Landscape Regulations modeled after the State Model Water Efficient Landscape Ordinance. See [City Code Section 10-6-1 through 10-6-17](#).

1. New development projects requiring a building or landscape permit, plan check, site plan or other discretionary review, with an aggregate landscape area equal to or greater than 500 square feet;
2. Rehabilitated landscape projects with an aggregate landscape area equal to or greater than 2,500 square feet requiring a building or landscape permit, plan check, site plan or other discretionary review;
3. Existing landscapes limited to Subsection (A) of Section 10-4-14; and
4. Cemeteries. Recognizing the special landscape management needs of cemeteries, new and rehabilitated cemeteries are limited to Sections 10-6-5 (E), 10-6-9 (B) and 10-6-10 of City Code; and existing cemeteries are limited to Section 10-6-15 of City Code.

**I. Public Utility Easements**

1. Where overhead public utility easements traverse a proposed development, these circumstances shall be dealt with in a manner consistent with all requirements of the appropriate governing agency. In general, trees shall be of a lower growth habit to eliminate excessive pruning or removal, and should be selected from the list in Appendix ‘A’.
2. Shrubbery or trees shall not be placed within five (5’) feet of any fire hydrant.
3. Trees must be placed outside of any drainage, sewer or water easement designated by the City of Placerville.
4. All landscaping within public utility easements is subject to final approval by the City of Placerville and the Planning Commission.



*Where overhead public utility easements traverse a proposed development...trees shall be of a lower growth habit to eliminate excessive pruning or removal...*

**J. Fuel Modification Zones**

Within the City of Placerville, there are large areas of wildland vegetation intermixed with developed areas that are an asset to the community and provide a basis for understanding the natural systems of the Sierra foothills. However, in combination with rugged terrain and limited access to emergency vehicles, these elements pose a significant wildland fire hazard.

The possibility of a regional wildfire exists in the Placerville area, and a comprehensive fuels modification plan for high and extreme fire hazard areas (as delineated in Figure VIII-3 in the *Background Report* for the City’s *General Plan*) is needed to form a network of fuelbreaks and fuel modification areas. In accordance with the goals of the General Plan, the guidelines outlined herein are intended to establish criteria for fuel modification that promote wildland fire safety in a manner that is aesthetically pleasing and carefully planned.

These criteria are intended to provide a fuel modification zone/fire-safe buffer in that the plant materials used have a lessened fuel capacity and



higher moisture content. Some low fuel volume native plants are listed in Appendix 'A' of this document. Specific guidelines for fuel modification are as follows:

1. A year-round irrigation system should be used to increase the moisture content of any living fuel within thirty (30') feet of structures or parking areas.
2. A landscape maintenance program should be established to remove any dead wood, dried leaves and other combustible materials within one hundred (100') feet of any structure or within thirty (30') feet of any parking area.

#### **K. Post-Construction Storm Water Management**

The City of Placerville is required by the Small Municipal Separate Storm Sewer System (MS4) General Permit to manage storm water runoff from development and redevelopment projects that create or replace impervious surfaces. This Permit is enforced by the California Regional Water Quality Control Board (RWQCB).

Projects subject to these requirements are classified as:

**Small Projects:** Those that create and/or replace between 2,500 square feet and 5,000 square feet of impervious surfaces (including projects with no net increase in impervious footprint). Small Projects include detached single family homes that create and/or replace 2,500 square feet or more of impervious surface and are not part of a larger plan of development. Small Projects do not include projects that create and/or replace less than 2,500 square feet of impervious surfaces.

**Regulated Projects:** Those that create and/or replace 5,000 square feet or more of impervious surfaces (including projects with no net increase in impervious footprint). Regulated Projects include the following types of projects:

- (a) Development and redevelopment projects that involve a land disturbing activity.

- (b) Road projects and linear underground/overhead projects (LUPs) that create newly constructed contiguous impervious surface that are public and/or fall under the building and planning authority of the City.

Projects that create and/or replace between 2,500 square feet and 5,000 square feet of impervious surfaces are required to implement one or more Site Design Measures.

Projects that create and/or replace 5,000 square feet or more of impervious surfaces are required to implement Site Design, Source Control, Runoff Reduction, and Baseline Hydromodification Management Measures.

Specific requirements and exclusions for each type of project may be found in the *City of Placerville Design and Construction Standards Manual*, within the Post-Construction Storm Water Management Standards section.

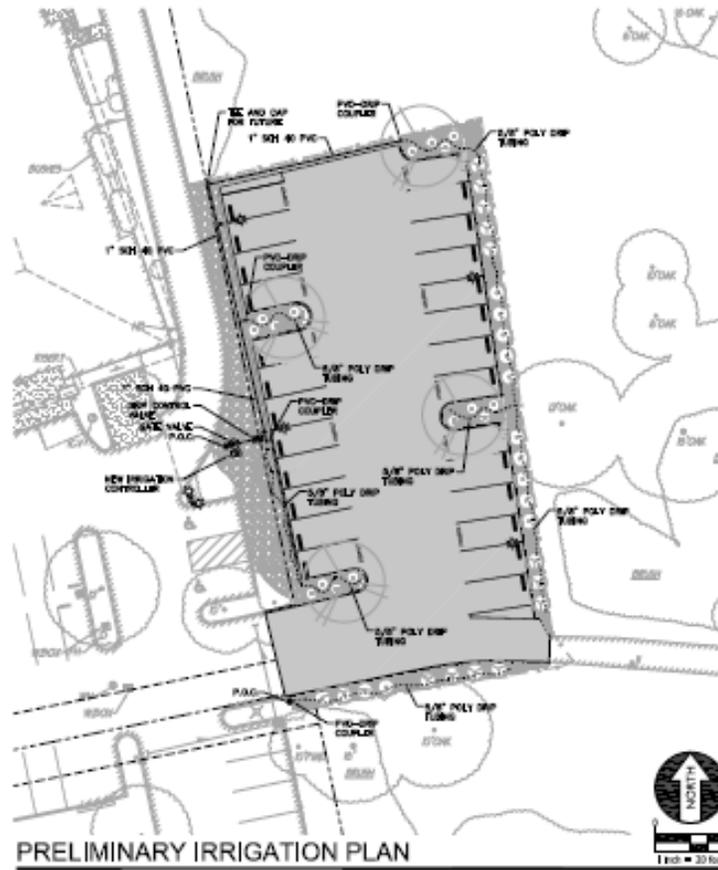


*Example of a bioswale.*



# Chapter VII

## IRRIGATION SYSTEM DESIGN



IRRIGATION LEGEND	
SYMBOL	DESCRIPTION
●	<b>PART OF CONSTRUCTION</b> THE SPRINKLER IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT THE FOLLOWING: 1. STATIC WATER PRESSURE = 70 PSI 2. DYNAMIC WATER PRESSURE = 60 PSI 3. MAXIMUM FLOW = 100 GPM
⊙	DATE VALVE, SEE AS NOTED, IN 14"x10" BOX
⊞	NEW IRRIGATION CONTROLLER EX. + STATION, MOUNT IRRIGATION
■	DROP CONTROL VALVE, BRONZE, 700, 1" IN 14"x10" BOX
—	POLY DRIP IRRIGATION LINE, RAIN BIRD SYSTEM BY RAINBIRD
—	PVC SCH 40 WATER LINE, 1 1/2"-10" CONDR.



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## VII. Irrigation System Design

Irrigation system design throughout the City shall be accomplished through the use of spray, bubbler and drip irrigation systems, which apply water conserving techniques and equipment while successfully satisfying the water requirements of the proposed plant materials.

The following guidelines will be required of all irrigation systems designed for development projects under the Land Use Categories provided in Section III. Land Use and Zoning of the Development Guide; and for all development projects subject to the City's [Water Efficient Landscape Regulations](#) (Zoning Ordinance Section 10-6-1 to Section 10-6-17). These regulations are briefly discussed in Chapter VI, Section H of the Development Guide. Please contact the Development Services Department for more information.

1. All landscape irrigation systems shall be designed by a California Registered Landscape Architect in association with a Certified Irrigation Designer or other qualified professional.
2. All landscape areas shall be irrigated with an automatically controlled underground irrigation system. Details illustrating typical installations are found in Appendix 'B' of this Development Guide.
3. The use of reclaimed water for landscape irrigation is encouraged. All equipment used in such systems must be appropriately labeled and color-coded in accordance with industry standards. The use of reclaimed water for irrigation purposes must be approved by the County Health Department.
4. To protect the system from damage in freezing weather, winterize all above-ground equipment with insulation and/or enclosures and provide anti-drain valves at the lowest elevations in the system.
5. Irrigation systems shall be valved separately, relating to specific hydrozones determined by the proposed or existing plant communities, solar orientation and exposure, slope conditions and soil properties. Control valves shall operate systems of like conditions and water demands.
6. Backflow prevention devices must be installed in accordance with all local codes and ordinances. They shall be located in shrub planting areas and screened from view by means of plant materials.
7. All turf areas shall utilize pop-up spray or rotary impact heads with a minimum riser height of four (4") inches. The irrigation sprinkler placement shall ensure head to head coverage in all turf areas.
8. Low precipitation spray heads, low precipitation rotors or impact heads, micro-irrigation equipment and/or pressure compensating bubblers shall be used.
9. The use of micro-irrigation systems and moisture sensing equipment is encouraged.
10. All irrigation systems shall be designed to prevent overspray onto walks, walls, streets, and other non-landscaped areas.
11. No irrigation heads shall be installed on fixed risers adjacent to streets, walks or other paved areas. All irrigation heads in high pedestrian or vehicular traffic areas shall be "pop-up" models only.
12. All irrigation systems shall be designed to allow a complete watering cycle within an eight (8) hour period. Watering cycles shall be completed between the hours of 10 p.m. and 6 a.m.



13. Automatic controllers should include a minimum fourteen (14) day calendar, two (2) independent programs, and three (3) cycles per day capabilities. All new systems shall include rain sensors to automatically shut-off system during periods of rain.
14. A watering schedule shall be submitted with the landscape plans that includes run time, days of operation, and frequency of irrigation for each valve in each of the four seasons. These schedules are provided as general guidelines only. It is the responsibility of the on-site water manager to determine optimum run times. It is in the best interest of the property owner and/or tenant to maintain an efficient system, in accordance with the requirements of the City's landscape maintenance agreement. Refer to Appendix 'E', Exhibit 14, Covenant and Agreement for Landscaping, for additional information.



**Chapter VIII**  
**LANDSCAPE MAINTENANCE**



**PURPOSE AND INTENT**  
**GENERAL GUIDELINES**  
**REGULAR PREFORMED MAINTENANCE**



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## VIII. LANDSCAPE MAINTENANCE

### A. Purpose and Intent

In order to ensure the long-term success and overall attractive appearance of landscape development, proper horticultural and irrigation practices should be employed with care and regularity on all sites. It is recommended that all maintenance be performed by experienced landscape maintenance professionals who are familiar with the specific requirements and growth habits of plant materials in the Placerville area. These guidelines are set forth in addition to the requirements of the City of Placerville's *Covenant and Agreement for Landscaping* between the City and the developer, which is recorded with the City's Development Services Department. Refer to Appendix 'E' of this document for additional information.

### B. General Guidelines

1. All plant materials should be maintained in a healthy growing condition and in a neat and attractive appearance throughout the year. Irrigation systems, monumentation, and hardscape elements should be maintained as to represent the original integrity of the installation.
2. A plant establishment period, under the installation contract, is required for all landscape installations for a minimum of ninety (90) days after all landscape improvements have been installed.
3. All fuel breaks and fuel modification areas should be maintained in accordance with the recommendations of a Professional Forester.

### C. Regularly Performed Maintenance

1. Turf Requirements
  - a. Mowing and edging of all turf areas should be accomplished every seven (7) days during the peak growing season and on an as needed basis during the cooler growing periods. All clippings shall be disposed of in a legal manner.

- b. Edging should be accomplished by mechanical means. Application of herbicides for this purpose is unacceptable.
- c. Lawn areas should be irrigated according to need and not by timed intervals. Irrigation should be accomplished as outlined in the irrigation design section of this guide.
- d. Lawn areas should be fertilized regularly as appropriate for the soil and site conditions. The soil fertility program should conform to the results of the required soil fertility analysis.
- e. All lawn areas will be aerated on a semi-annual basis to improve the absorption of water and fertilizer into the soil.



### 2. Annual Bed Maintenance

- a. Annual color beds shall be re-planted a minimum of four (4) times per year with seasonally available varieties.
- b. The soil shall be thoroughly prepared prior to planting, including the incorporation of fertilizers. Nitrolized bark mulch or similar amendments shall be incorporated to improve soil conditions on a regular basis.
- c. Water should be applied on an as needed basis, in accordance with the irrigation guidelines outlined in this document.



3. Bioswale and Bioretention Facility Maintenance. Refer to LID Fact Sheet 2, Appendix G, for more information.

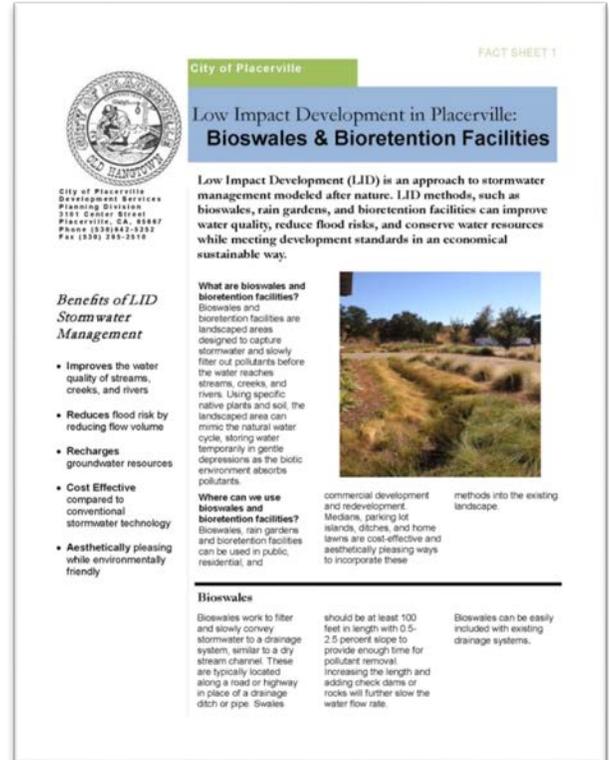
- a. As needed, remove weeds and invasive species from planter, as well as any trash, debris, or excess leaves that washed into the planter, inlet channel, or pipes. Do not use fertilizer to manage for weeds or invasive species.
- b. Check the planter a few days after a rainstorm to make sure there is not standing water.
- c. Plants require a low maintenance routine, such as regular mowing, pruning, and irrigation during dry months.

4. Groundcover Maintenance

- a. Groundcovers shall be maintained in such a manner as to create an attractive, uniform ground plane.
- b. Weeds shall be controlled by means of pre-emergent herbicides, as well as hand labor. Weeds shall be removed on a monthly or as needed basis from groundcover areas.

5. Tree Maintenance

- a. Lower branches shall be tipped or pinched to retain as much foliage, as possible as well as to promote strong trunk growth. Lower branches shall be removed, cut flush with the trunk, only when the tree is able to stand without the aid of stakes or guys.
- b. Evergreen trees shall be thinned and shaped as necessary to prevent toppling, as well as to minimized wind and storm damage. Primary pruning shall be accomplished during the tree's dormant season or when a significant fire hazard arises.
- c. Tree staking ties shall be inspected and adjusted annually for ringing, strangulation, or excessive rubbing of the tree. Acceptable tree staking methods are illustrated in the details found in Appendix 'B' of this document.



- d. When trees obtain a trunk caliper of four (4") inches or greater, the removal of the installation stakes and guys shall be undertaken. If trees are unstable when the stakes are removed, the maintenance personnel shall replace the tree support to correct the problem.
- e. All trees in turf areas shall have a twenty-four (24") inch circle of unplanted, mulched soil maintained at their bases at all times to encourage tree vigor and to minimize damage by trimmers, mowers, and other equipment.

6. Pruning

- a. Trees and shrubs shall be pruned to maintain a natural appearance by selecting permanent scaffold branches. Under no circumstances shall central leaders be removed from any tree, nor shall lower branches on young trees be "raised up" until the tree is able to stand without the support of staking or guying. Pruning operations should be performed by experienced tree pruning personnel only.



- b. The pruning of trees and shrubs shall be performed as to meet the following goals:
  1. Maintain the natural form and habit of each particular plant. Do not pollard, topiary or hedge into abstract configurations.
  2. Remove diseased or unsound branching structure.
  3. Provide at least 7' 6" clearance above sidewalks and at least 12' 0" clearance above streets or other vehicular paths. Provide at least 15' 0" clearance on city-designated truck routes. Postpone pruning in this manner until the size and the structure of the tree warrant it.

7. Diseases, Pests, and Weeds

- a. Diseases, pest, and weeds should be controlled by regular inspection of shrub, groundcover, and turf areas.
- b. All tree basins, planting areas, turf areas, sidewalks, curbing, and paving should be kept free of weeds. Avoid frequent cultivation which may harm shallow roots and break the seal of pre-emergent herbicides.
- c. Pests and diseases should be eradicated or eliminated only by the use of approved methods. These shall be defined as those methods approved by the federal government's Environmental Protection Agency, the State of California, and the City of Placerville.
- d. All chemical controls should be applied by certified application personnel.



8. Trash and Debris Removal

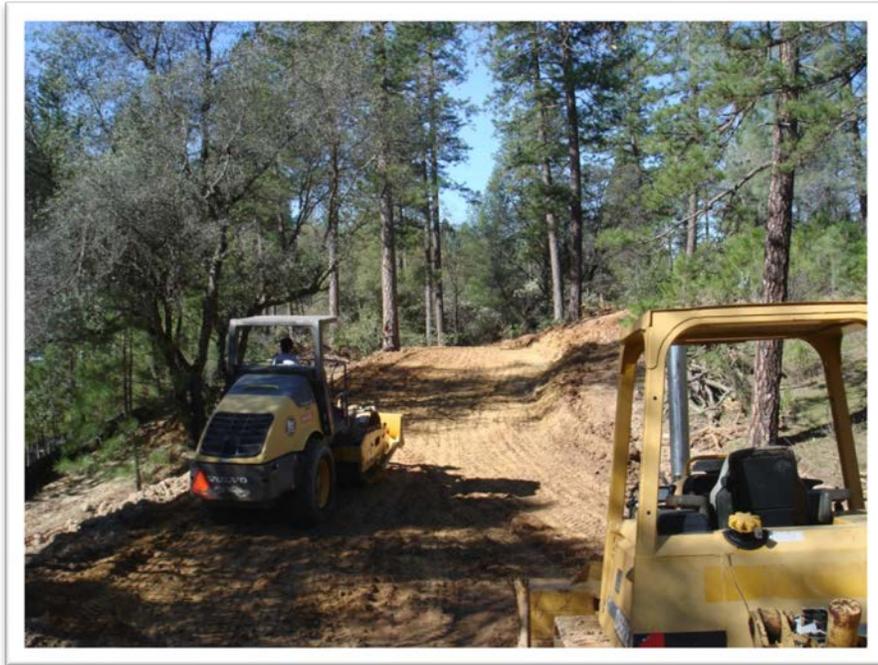
Trash should be removed from all landscape areas on an as needed basis, and when other regular maintenance is performed. Debris shall be disposed of in a legal manner.



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## Chapter IX

### HILLSIDE DEVELOPMENT AND NATURAL OPEN SPACE



#### NATURAL OPEN SPACE

#### GENERAL GUIDELINES FOR EROSION CONTROL AND GRADING



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## IX. Hillside Development and Natural Open Space

### A. Natural Open Space

The preservation of areas as natural open space is a significant asset to the community and is strongly encouraged. These open spaces should not be altered in any significant manner except for the installation of permeable walks of naturalistic design for pedestrians only.

### B. General Guidelines for Grading and Erosion Control

All grading plans and operations must carefully consider the existing topography of the area and must demonstrate an approach that is environmentally sensitive, as well as aesthetically pleasing. Specific requirements are contained in City Code [Section 8-7-1](#) "Grading, Erosion and Sediment Control," otherwise known as the Grading Ordinance. These guidelines shall be adhered to for all applicable projects in the City of Placerville. Basic guidelines for these areas are described in the following section.

1. Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Solutions that conform to the natural landscape and drainage pattern are encouraged. All site drainage must be addressed within the boundaries of the parcel, with no additional water being allowed to drain from one property onto another. In all cases, siltation and erosion shall be minimized to the greatest extent possible through the use of plant materials, geotextiles or other means of erosion control.
2. In cases where cut and fill operations create slopes greater than fifteen percent (15%), grading plans must be presented with the plans for review by the Development Services Department. Refer to Section XIV, Project Review Process, for additional information.

All grading activities shall comply with any and all standards and specifications adopted herein for the control of erosion and sedimentation on grading sites. These standards and specifications

shall be in general compliance with the "Erosion And Sediment Control Guidelines For Developing Areas Of The Sierras", published by High Sierra Resource Conservation and Development Council.



3. In cases where steep slopes will be created, interceptor ditches shall be constructed at the top of slope. These ditches are intended to catch water and reduce potential erosion. To the greatest extent possible, ditches shall be installed in a manner as to be unobtrusive and unnoticeable from the bottoms of the slopes.
4. In all cases where existing trees occur on hillsides, every possible effort shall be made to preserve them and minimize grading within the drip line of the trees. If it is possible to save the individual tree, a retaining wall system on either the uphill or downhill side of the tree shall be constructed as required. Other means of preservation shall be approved by a licensed arborist. Refer to Section IX, Existing Trees and Native Plant Material, and the City's [Woodland and Forest Conservation Ordinance](#) for additional information.
5. In cases where trees are unable to be saved, native species shall be re-vegetated on the hillsides, along with other appropriate species as presented in this document.



6. All slopes shall be planted with a cover crop of native and/or exotic grasses, shrubs and other groundcovers planted from container stock or hydro-seeded as appropriate. These areas should be irrigated by an automatically controlled, water-conserving irrigation system. Refer to Appendix 'A', Plant Lists, and Section X, Irrigation System Design, for additional information.
7. Natural features such as rock outcroppings and vegetation shall be preserved wherever possible. These features should be used to enhance the overall image and environmental integrity of the project.
8. Where retaining walls are required, these elements should be constructed using natural stone wherever possible. Simulations that are durable and attractive may also be acceptable; however, no unadorned concrete or concrete block walls are allowed.
9. Native trees and other native plant species shall be preserved along creek banks to avoid erosion in creek corridors, which would impair natural flow of the creek and have negative effects on water quality.



*Where retaining walls are required, these elements should be constructed using natural stone wherever possible.*



**Chapter X**

**EXISTING TREES AND NATIVE PLANT MATERIAL**



**GENERAL PRESEVATION GUIDELINES**  
**PROTECTION DURING CONSTRUCTION**  
**MAINTENENCE**



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## X. Existing Trees and Native Plant Material

Placerville is primarily a rural, historic community where the economic value of property is closely tied to the character and aesthetics of the City, much of which is attributable to its existing trees and native plants. The intent of the following guidelines serves to balance new development within the City with standards to conserve and maintain existing woodland resources to the greatest extent possible.

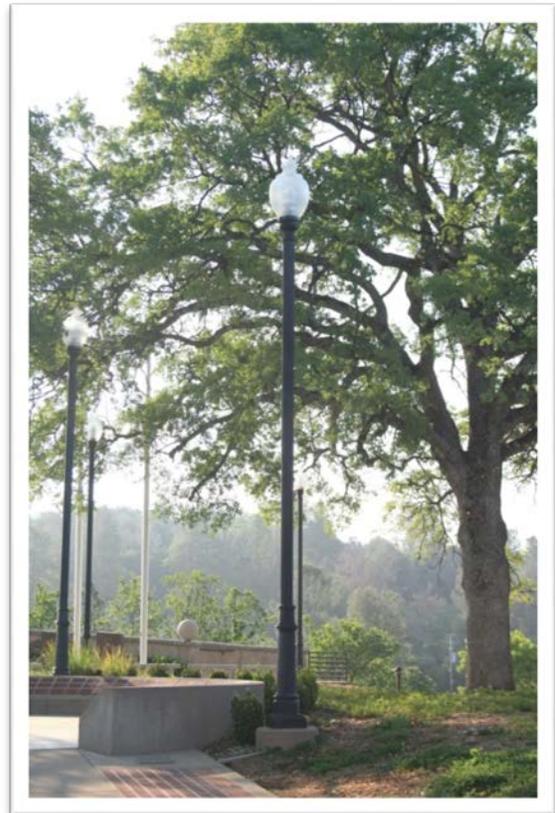
### A. General Preservation Guidelines

1. All tree preservation guidelines for Placerville shall comply with the City's *Woodland and Forest Conservation Ordinance*.
2. Note that any significant change in a native tree's environment has the potential to weaken and kill a healthy specimen. Altering the grade within a tree's dripline (the area defined by the total circumference of the tree including foliage) either by cutting grades or filling soil will disturb the tree's ability to obtain essential water and nutrients necessary for the tree's survival.
3. Soil compaction within the tree's dripline prohibits the natural exchange of gasses between roots and the atmosphere and restricts percolation of water to the root zone. Altering the natural drainage patterns around the trunk of the tree, particularly during months when the tree is normally dry, can smother roots and encourage crown rot and root rot fungus.
4. If the area within a tree's dripline must be altered, the following guidelines shall prevail:
  - a. If grades within the dripline must be altered more than plus or minus six (6") inches, roper drainage and aeration must be provided.

Grading shall occur as to allow positive drainage with no ponding or excess drainage flowing within the dripline of the tree.

- b. In fill situations or when construction occurs within the driplines of existing trees, aeration shall be maintained by means of the installation of a drainpipe aeration system.

- c. If retaining walls are required to accommodate grade changes near trees, a porous backfill material shall be used behind walls. Walls shall be constructed outside of the tree's dripline wherever possible.



*All existing trees within the area, particularly oaks, pines, and other natives, shall be recognized as an asset to the community and shall be protected to the greatest possible degree.*

- d. Where a tree well is required to accommodate grade changes within the tree's dripline, the well shall be constructed at least six (6') feet from the base of the tree with the retaining wall being several inches higher than surrounding fill. Fill shall be sloped away from the trunk of the tree. Proper drainage and aeration systems shall be provided, radiating out from the trunk, within the tree's dripline.



Drainage should be directed away from the tree to an outlet or a dry well.

- e. When trenching for utilities within the dripline of a tree located in a public utility easement is unavoidable, the number of trenches shall be minimized to the greatest possible extent. The tree should be carefully pruned to remove a number of branches proportional to the number of roots lost.
- f. Trees should be pruned only as required or as identified by a certified arborist. Pruning shall be performed to enhance the natural form or to remove weakened wood. Pruning shall be accomplished by the following methods:
  - 1. All cuts shall be true and straight with no ragged or broken ends.
  - 2. All limbs shall be cut back to natural crotches or limb junctions as to induce full growth and to promote a natural appearance.
  - 3. The tree should be carefully pruned to remove branches in a proportional relationship to the number of roots lost.
- g. Natural Fir humus mulch should be placed within the dripline of the tree so as to reduce weed growth, provide natural surface drainage, and maintain root aeration and water percolation.
- h. Planting shall be allowed under existing trees only as long as it is reflective of the native foothill species and its installation in no way jeopardizes the survival of the existing tree(s). All introduced plantings shall be drought tolerant native species and shall be irrigated by means of surface drip irrigation equipment.



*Planting shall be allowed under existing trees only as long as is reflective of the native foothill species and its installation in no way jeopardizes the survival of the existing tree(s)...*



accomplish construction operations, said pruning shall be performed only under ~~to~~ the supervision of a certified arborist.

## B. Protection During Construction

A report by a certified arborist or qualified professional must be prepared prior to any construction on the site. The arborist must be available to address any problems regarding the trees that may occur during construction. Prior to the removal of any tree, a permit shall be issued by the City of Placerville stating which trees shall be removed, retained or impacted by the proposed development. All existing trees shall be identified by type and size on a topographic map, and shall be addressed in accordance with the preservation guidelines stated herein and in the City of Placerville's *Woodland and Forest Conservation Ordinance*.

1. Each tree or group of trees to be retained shall be enclosed with a fence located one (1') foot outside the limit of the dripline(s) of the trees prior to the beginning of any construction. Fencing shall remain in place during site development and building construction.
2. Signs shall be posted on all sides of the fences surrounding the tree(s) stating that they are to be preserved.
3. All areas within the dripline of the tree or group of trees shall remain undisturbed, unless noted on the plans.
4. The amount of water provided to the tree(s) shall not vary from that which was supplied prior to the beginning of construction activities.
5. The parking of vehicles, construction equipment or storage of materials within the dripline of the tree(s) shall not occur at any time.
6. No oil, fuel, concrete mix or any other deleterious mixture shall be allowed to flow across or within the dripline of any tree(s) to remain.
7. No signs, ropes, cables or other items shall be attached to any existing tree to remain.
8. Damage to branches during construction due to equipment or human activity shall not be allowed. If pruning the tree is required to

9. Where construction takes place near a water body, protecting native plants and trees along banks shall be a priority and shall require special protection from possible removal or damage. Developers, contractors and construction crews shall be educated in the protection measures prior to construction.

## C. Maintenance

1. It shall be the responsibility of individual property owners to provide long term maintenance of preserved trees on any given parcel.
2. Existing trees shall be maintained with proper horticultural procedures to ensure and promote the life, growth and health of the tree(s).
3. Maintenance shall be defined as the pruning, trimming, spraying, injecting, fertilizing, cabling, treatment for disease or injury and similar procedures that promote healthy growing conditions.
4. All maintenance programs shall be developed by a certified arborist and performed by trained professionals.



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## Chapter XI

## LIGHTING



### GENERAL LIGHTING REQUIREMENTS

#### STREETScape LIGHTING

#### SITE DEVELOPMENT LIGHTING



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## XI. LIGHTING

The lighting concept defined within this section has been developed to establish a hierarchy of lighting treatments and a consistency of features that will unify individual site developments, as well as contribute to the overall cohesive quality of the community. The following guidelines apply to Main Street and all designated historic areas as well as Broadway and Placerville Drive.

### A. General Lighting Requirements

1. Light standards must be of appropriate scale relative to all adjoining uses. Human scale should be emphasized in all lighting applications. Arm-mounted features and cobra heads typically used for freeway lighting are out of scale for pedestrians and are not acceptable.
2. All site lighting systems shall be designed as to minimize glare to adjacent properties and rights-of-way.
3. Photocell lighting operation is required to ensure efficient use of electricity and minimize unnecessary "on time".
4. Brightly colored or blinking lights are allowed for holiday display only and shall be removed no later than January 12<sup>th</sup>.
5. Lighting must conform to all local codes, California Title 24 requirements, and all applicable safety and illumination requirements.
6. Light standard bases shall be above grade, with electric service below grade.
7. Fixtures are to be selected that complement the architectural style of the buildings and the design vocabulary of public areas, pedestrian corridors and streetscape elements. Acceptable styles are illustrated in this section.
8. Exterior lighting for commercial and multi-family development projects is subject to the City's Exterior Lighting Regulations (Zoning Ordinance [Section 10-4-16](#)).



### B. Streetscape Lighting

1. Streetlights and other features within public rights-of-way will reflect a simple design theme of the type and quality illustrated in this section.
2. Streetlights should be consistent throughout the City on similar street types.
3. Light standards and fixtures will be painted 'forest' green in the streetscapes and public spaces throughout Placerville.
4. Lighting of signs should be subdued and indirect, illuminating the area of the sign only. All signs, entry monumentation, public art, directories, kiosks, or other streetscape elements should be illuminated by concealed fixtures.



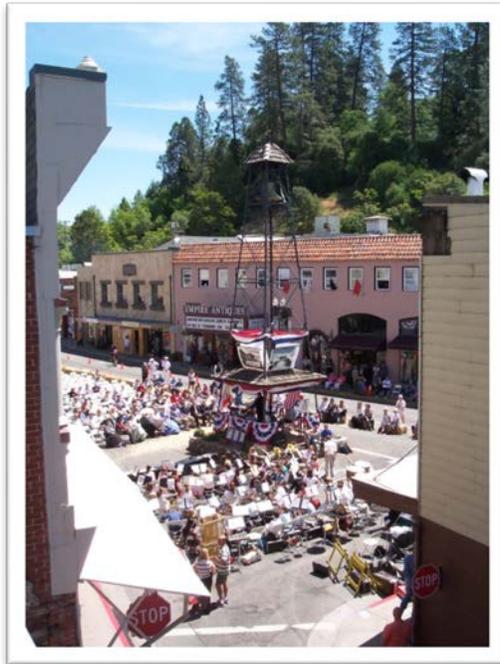
### C. Site Development Lighting

1. Parking lot lighting, pathway lighting and other types such as bollards, uplights, or architectural accent lighting must be in character with the overall development and should be tasteful and imaginative. Nostalgic or contemporary fixtures such as those illustrated in this section are acceptable as long as they demonstrate continuity and harmony with the site development as well as the overall context of the community.
2. Pole-mounted fixtures in parking areas shall maintain a human scale and shall not exceed twenty-five (25') feet in height. Site development lighting should be contained within the site, avoiding light pollution to highest possible degree, particularly in residential areas.
3. Landscape lighting is encouraged as to highlight features such as native oaks, specimen trees and pedestrian pathways. Light sources are to be concealed as not to distract attention from the objects they illuminate.
4. Subtle architectural lighting from indirect or concealed sources may be used for wall washing, overhead downlighting, and interior lighting that spill into outdoor spaces.



## Chapter XII

### TRIBUTES, MONUMENTATION AND PUBLIC ART



**LOCATION**

**MATERIALS AND FINISHES**

**APPROVAL**



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## **XII. Tributes, Monumentation and Public Art**

Given the rich and colorful history of the City, the desire to mark important events of Placerville's past is a natural and integral part of the community design concept.

Monuments and other forms of public art in public spaces strengthen the cultural identity and development of the community and promote the creativity and talent of local artists and craftspeople.

### **A. Location**

Community gateways are logical locations for monuments, entry signs, and community identity elements, and such treatments are strongly encouraged in these areas. Nodes in the landscape such as courtyards and plazas also provide a logical context for focal points of public art.

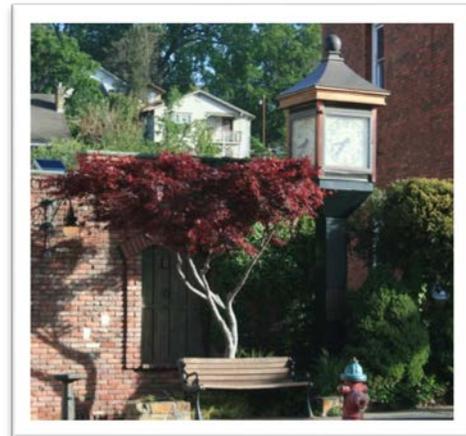
The design and location of a sculpture or other artwork shall be in such a manner as not to impair the safety and welfare of the public in any way. Site furnishings and other landscape treatments should be planned in concert with the artwork to provide an appropriate setting in which to view the piece. It is also important to locate these elements with respect to views from building interiors.

### **B. Materials and Finishes**

Monuments and other outdoor art should be permanent in character with finishes of durable materials such as stone or metal. The use of fiberglass or plastic is discouraged. Displays of artifacts or historic memorabilia should be artfully designed and should protect and preserve the quality and condition of the pieces.

### **C. Approval**

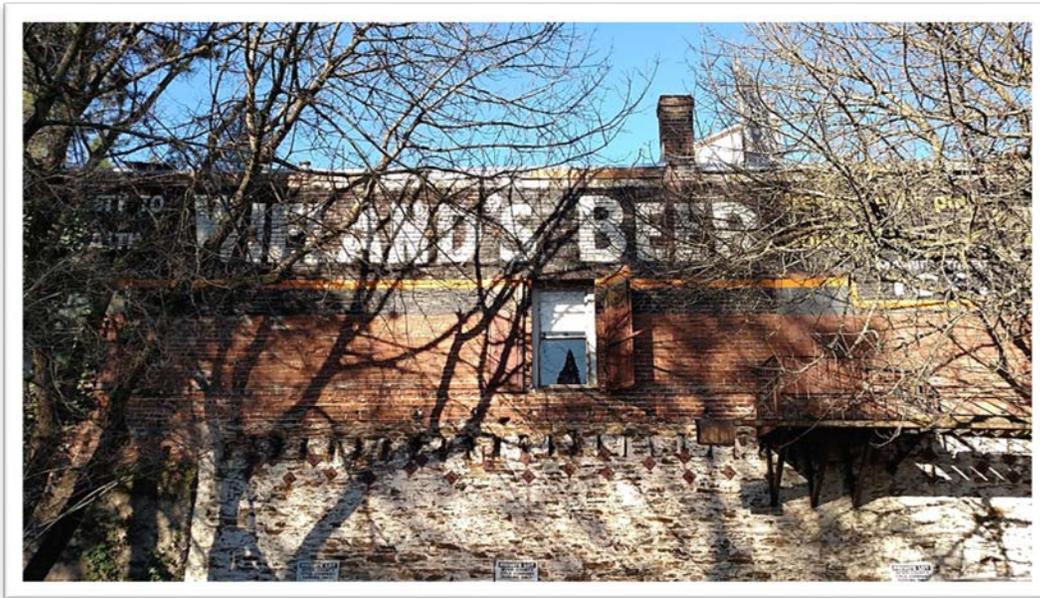
All tributes, monuments, and works of public art are subject to review by the Community Pride Committee and approval by City Council. Plans that indicate the location, dimensions and form, materials, color, and any other supporting information shall be submitted for approval.



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## Chapter XIII

### SIGNAGE



#### GENERAL GUIDELINES

#### MAIN STREET HISTORIC AREA

*Amended per Resolution No. 8555 - 9-26-2017*



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### XIII. Signage

Uniformity and consistency of standards for sign elements is essential to ensure the success of the community design concept. Note that all signs, with the exception of those specified in the City of Placerville's adopted [Sign Ordinance](#), require a permit. Most are subject to approval by the City of Placerville's Planning Commission prior to installation. Signs are subject to all standards, size limitations, and placement restrictions set forth in the [Sign Ordinance](#). Please contact the Development Services Department before placing any exterior sign within the City.

#### A. General Guidelines

1. Signs will be maintained in good condition, including the display surface. Signs should be kept clean, legible, and free of graffiti or other disfigurements. The adjacent landscaped area will also be consistently maintained.
2. All signs should be of professional quality, utilizing materials and finishes and trim elements that complement those used in the adjacent architecture and site design (Fig. A.).
3. Developments that accommodate several tenants should utilize a single sign structure. Monument signs of this nature should be designed with an appropriate base or pedestal that integrates the sign with the architectural and/or landscape design elements (Fig. B.).
4. Signs for individual tenants should be well designed with a consistent theme and should be logically placed on the building face (Fig. C).

Fig. A



*Signs should utilize materials and trim elements that compliment those used in the adjacent site design.*

Fig. B



*Monument signs should be designed with an appropriate base or pedestal integrated with architectural and/or landscape design elements.*

Fig. C



*Signs should be well designed and logically placed on the building face.*



5. Some sign types are inappropriate within the City and are not allowed:

a. Billboards or similar advertisements that will change on a regular basis (Fig. D).

Fig. D



b. Inflatable signs (Fig. E).

Fig. E



c. Animated, moving, or rotating signs.

d. Exposed fluorescent tubing. This does not include neon signs (neon signs have been utilized historically within the City, including the Main Street Historic Area).

e. Flashing signs.

f. Signs that do not meet the signage standards of [Section 10-4-17](#) of the City of Placerville's *Zoning Ordinance*.

g. Colored plastic panel signs (Generally not compatible with the City's architectural style and are not allowed unless approved by the Planning Commission) (Fig. F).

Fig. F

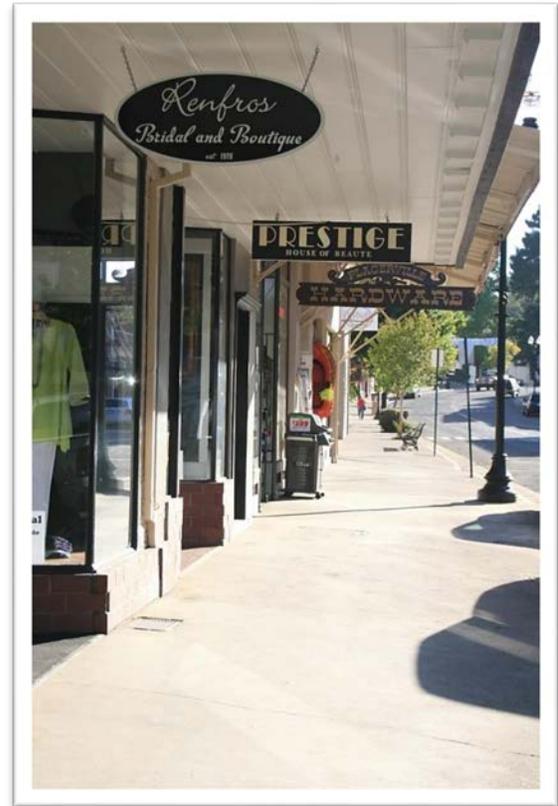


## B. Main Street Historic Area

### (A) General Design Characteristics

1. Signs in this area in particular should respect the character of the architectural design and respond to the proportion and style of details and ornamentation.
2. Signage programs should minimize signs and avoid clutter. One well designed, well placed sign on the face of the building is preferred. Free-standing pole mounted signs are not allowed in the historic area.
3. Color selection should demonstrate harmony and continuity with the colors of the building.
4. Quality materials and professional fabrication are essential for signs of any sort in the historic area.
5. Signs that re-create traditional approaches are encouraged, such as wall-painted signage, flush wall-mounted signs, or signs hanging from the interior against the window.
6. Hanging signs that project into the sidewalk space perpendicular to the walk are also consistent with the historic elements of Main Street and are encouraged. Hanging signs may extend no more than four (4') feet beyond the building or wall upon which they are placed, and must maintain a minimum vertical clearance of eight (8) feet to the sidewalk (Fig. G).

Fig. G.



*Hanging signs that project that project into the sidewalk space perpendicular to the walk are also consistent with the historic elements of Main Street.*



(B) Placement: Signage should be installed in appropriate “sign areas” as defined by the existing architecture of the façade. [See Figures H and I for examples of appropriate sign areas, and Figure J for inappropriate examples.]

1. Placement or location should not obscure or cover a vertical architectural element such as a column or pilaster.
2. Signage should fit entirely within horizontal divisions (e.g. sign band).
3. Where no architectural divisions exist or are evident, signage should be proportionately scaled to the façade and placed to respect window and door openings.
4. Sign should not cover the entire width of any façade.

Fig. H

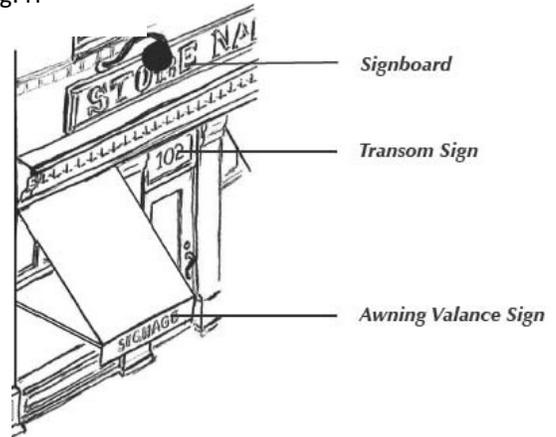
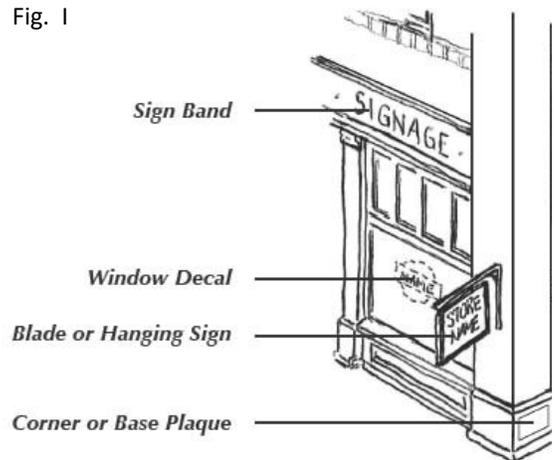


Fig. I



*Appropriate Sign Placement Areas that respect the architectural scale of the façade.*



Fig. J



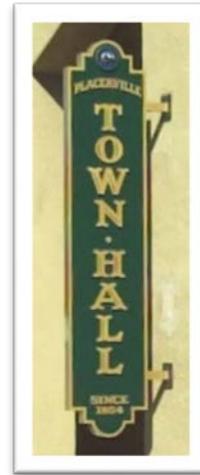
*Inappropriate Sign Placement Areas that ignore the architectural scale of the façade and cross or obscure horizontal and vertical elements will not be allowed.*



(C) Material: Sign materials should be consistent with the traditional character of the Main Street Historic Area. Appropriate materials are:

- Metal (Iron, Steel, brass, copper, aluminum and other natural finishes) (Fig. K);

Fig. K



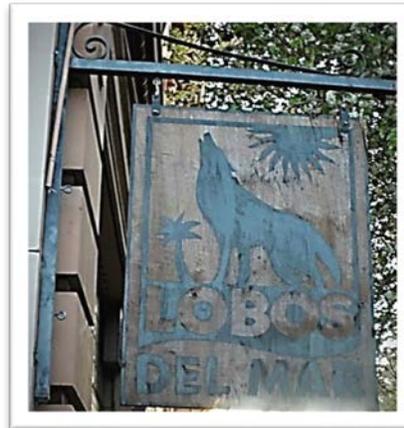
- Painted metal, including powder-coated or enameled metal (Fig. L);

Fig. L



- Wood (painted or natural, including carved or sand-blasted lettering) (Fig. M);

Fig. M



- Glass (Fig. N);



Fig. N

- Fiberglass, high-density urethane foam, and similar “cast” or formed materials to create 3-dimensional objects, including individual lettering (Fig. O), and



Fig. O

- Other painted lettering (Fig. P)



Fig. P



(D) Illumination: Signs may be illuminated or non-illuminated. Illuminated signage shall use lighting forms consistent with the traditional character of the Main Street Historic area, including:

- Internally-lit gas filled neon tubes

Fig. Q



- Indirect illumination (gooseneck type)

Fig. R



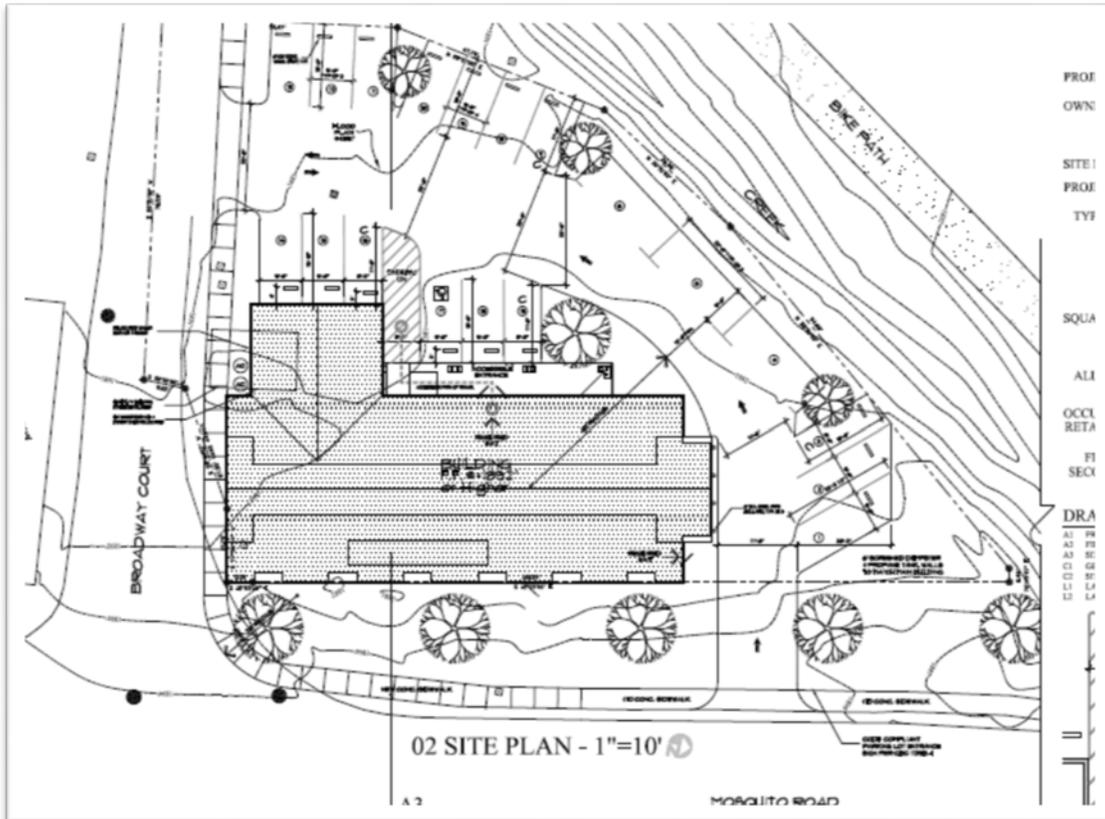
- Silhouetted back-lit

Fig. S



## Chapter XIV

### PROJECT REVIEW PROCESS



#### OVERVIEW

#### APPLICATION REVIEW PROCESS

#### PRELIMINARY PLAN REVIEW PROCESS

#### POSTING OF DEVELOPMENT PROJECT PROPERTY



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## XIV. PROJECT REVIEW PROCESS

### A. Overview

Those interested in developing or redeveloping properties within the City should start with a visit to City Hall to discuss potential activities with the Development Services Department staff. The permit review process is an important step in maintaining the orderly and harmonious development of the City of Placerville. This process helps sustain and improve values throughout the City while making certain that any development meets the goals and polices of the General Plan while serving to preserve and enhance the City's natural beauty, its charm and character while ensuring public health, safety and welfare.

### B. Application Review Process

This section, and Figure XIV-a, summarizes the application procedure for common development requests such as Site Plan Reviews, Conditional Use Permits and Variances. Other development activities within the City involve separate applications, application submittal requirements and processes. Examples include text or map amendments to the City's General Plan or Zoning Ordinance; temporary use permits for specified uses under [Section 10-4-7](#) of the Zoning Ordinance; temporary or hardship manufactured home requests under [Section 10-4-6](#), and requests for attached single-family dwelling units under [Section 10-4-13](#). Contact the Development Services Department and its [webpage](#) for application submittal requirements. See also Appendix E.

### C. Preliminary Plan Review (Optional)

**Purpose:** The purpose of the Preliminary Plan Review Procedure (PPR) is to provide an optional procedure for an applicant to receive written responses to a preliminary development plan proposal from several City staff professional disciplines (e.g. planning, building, engineering and police) before submitting an application for formal project approval (e.g. Site Plan Review, Variance, Subdivisions, Conditional Use Permit).

A PPR can be useful for the development community and property owners who are not familiar with City regulations, standards, guidelines, and development

procedures that would be specific to a formal application request by "daylighting" these to an applicant. A PPR is highly recommended for larger projects, such as multi-family residential housing, subdivisions, and commercial development of an acre or more.

**Fee:** A fee is required to process a PPR. This fee will be credited toward the formal application fee if a complete application is submitted within one year of the PPR written response.

**Submittal Information:** The more details submitted regarding the plan or project then the more detailed the City's response will be to the PPR. The preliminary plan should include the following basic information drawn to a standard engineering scale:

- City of Placerville Planning Application,
- Parcel size and dimensions,
- Building footprints and floor plans,
- Proposed access and parking including abutting right-of-way widths and street improvements, parking, driveways and landscape areas,
- Locations of existing and proposed utility services,
- Location and type of existing vegetation; indication of vegetation to be removed,
- Project description narrative (include existing and proposed uses).

Other information suggested:

- Photos of existing site and site improvements (if any),
- Sketches or renditions of potential buildings and structures,
- Site development history

Ten (10) copies of the PPR must be submitted for processing.

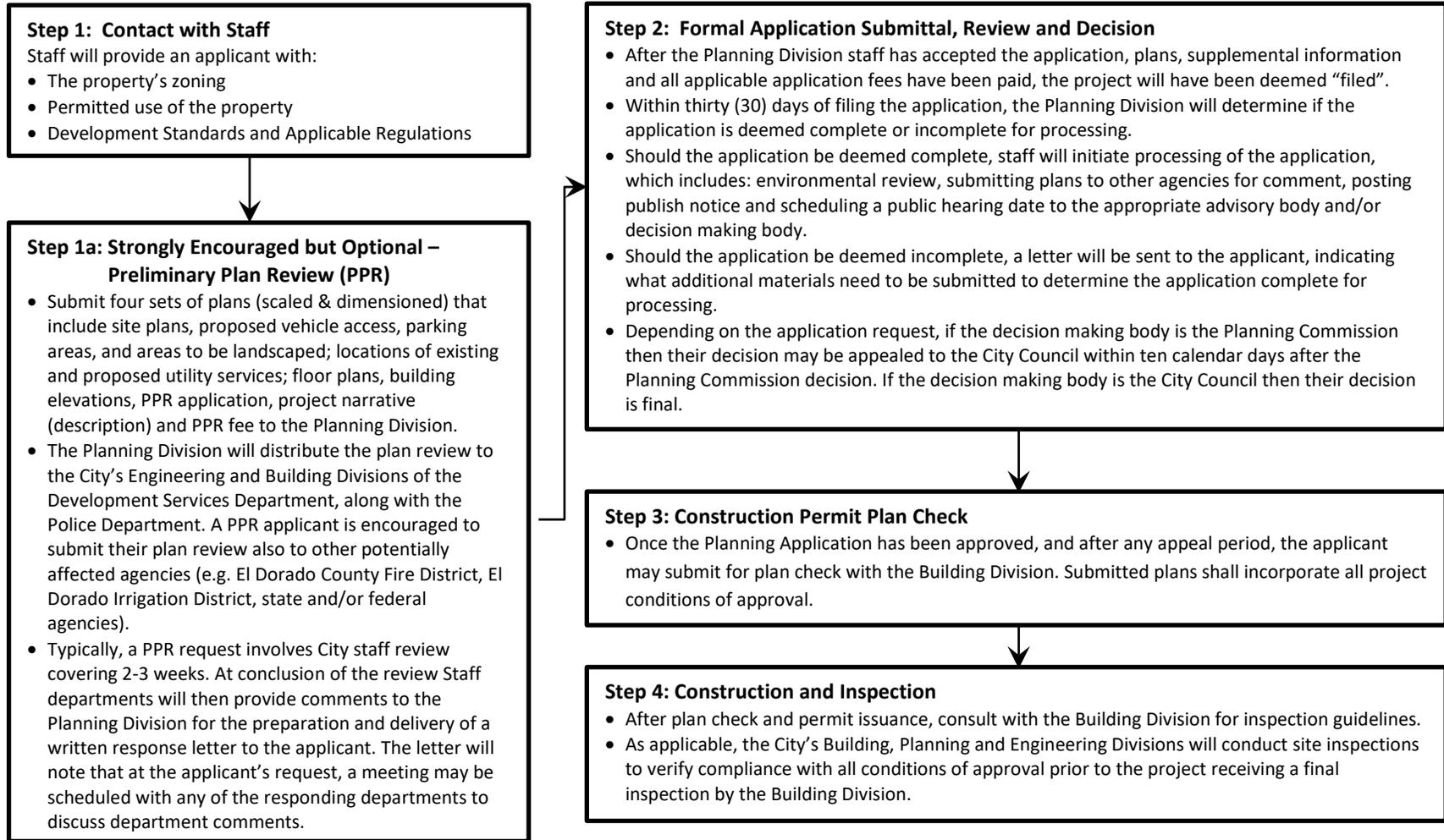
**Written Response:** Typically, a PPR request involves City staff review covering 2-3 weeks. At conclusion of the review Staff departments will then provide comments to the Planning Division for the preparation and delivery of a written response letter to the applicant. The letter will note that at the applicant's request, a meeting may be scheduled with any of the responding departments to discuss department comments.





Figure XIV-a

## Planning Application Review Process



Please note: This flowchart is for application process information only. It does not contain all requirements that may be specific to the type of application applied for and complexity of the project.

#### D. Posting of Development Project Property

It is the policy of the City of Placerville that notice is provided to the persons who may be affected by a development project as soon as possible. The Council has determined that the best way to accomplish this is to post the property proposed to be developed at the time an application is filed for development. Development projects include zone changes, subdivisions and general plan amendments, parcel maps, conditional use permits, variances, site plan reviews or any other application that will require a public hearing. The responsibility for posting will be the applicant for the development. The process will be as follows:

**INITIAL CONTACT** -The applicant will contact the Planning Division regarding the potential of developing a property. If the applicant decides to continue, they will be provided a development application that will include the City policy on posting properties.

**SECONDARY CONTACT**- The applicant will contact the Planning Division prior to the construction of the required sign(s) to acquire the "Project No." information.

**SUBMITTAL OF APPLICATION** -The applicant will submit the completed application to the City. At the time the applicant will provide evidence that the property has been posted in accordance with the City's posting policy.

##### Minimum Requirements for Posting

It is the responsibility of the applicant to provide for the construction, placement, and maintenance of the sign.

**Sign Dimensions:** two feet (2') by two feet (2'). The sign shall be black letters on a yellow background and read as follows:

NOTICE OF DEVELOPMENT  
PLACERVILLE PROJECT NO. \_\_\_\_\_  
AN APPLICATION FOR DEVELOPMENT OF THIS  
PROPERTY HAS BEEN FILED WITH THE CITY OF  
FOR MORE INFORMATION CALL THE PLANNING  
DIVISION AT (530) 642-5252

A minimum of one sign shall be posted on each street on which the property has frontage. Signs shall be posted facing the street about every two hundred feet (200') apart along the street frontage of the property. There shall be a minimum of two signs posted on corner lots and through lots, one facing each street;

Where the property does not have street frontage on or is not easily visible from the street, the sign(s) shall be posted in a location deemed suitable by the Planning or Engineering staffs;

The sign shall be posted no more than five feet (5') from the street line and shall be visible and readable from the street for the entire time of its posting;

The sign(s) shall remain posted until final action has been taken on the application, and

The sign(s) shall be constructed of materials suitable to remain standing during the estimated posting time and to hold up to the weather.



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## APPENDICES

LAND USE	ZONING DISTRICT										
	OS	RE	R1-A	R1-20	R1-10	R1-6	R-2	R-3	R-4	R-5	BP
Accessory Buildings & Accessory Uses	P	P	P	P	P	P	P	P	P	P	P
Administrative Offices	N	N	N	N	N	N	N	N	N	N	P
Agricultural Uses	P	P	N	N	N	N	N	N	N	N	N
Airports and Heliports	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Animal Hospital /Clinic / Shelter	N	N	N	N	N	N	N	N	N	N	N
Antique Stores	N	N	N	N	N	N	N	N	N	N	N
Arcades	N	N	N	N	N	N	N	N	N	N	N
Attached Single-Family Residential Dwellings	N	N	N	N	N	P	N	N	N	N	N
Automobile Sales, New & Used	N	N	N	N	N	N	N	N	N	N	N
Automobile Services	N	N	N	N	N	N	N	N	N	N	N
Banks and Financial Institutions	N	N	N	N	N	N	N	N	N	N	N

**A - PLANT LISTS &**

**MASTER STREET TREE PLAN**

**B - IRRIGATION**

**C - GLOSSARY OF TERMS**

**D - ZONING MATRIX**

**E - ADMINISTRATION, PROCEDURES AND PROCESSES**

**F - CITY OF PLACERVILLE PARKING STANDARDS**

**G - LOW-IMPACT DEVELOPMENT FACT SHEETS**



## Appendix 'A' Plant List

### TREES (Canopy, shade-overstory)

Alder, White	<i>Alnus rhombifolia</i>	N
Ash, California	<i>Fraxinus dipetala</i>	N
Bay, California	<i>Umbellularia californica</i>	N, D
Beech, European	<i>Fagus sylvatica</i>	
Birch, Himalayan	<i>Betula utilis</i> var. <i>jacquemontii</i>	
Cedar, Deodar	<i>Cedrus deodara</i> var.	
Chinese Pistache	<i>Pistacia chinensis</i>	
Cottonwood, Western	<i>Populus fremontii</i>	N
Crabapple	<i>Malus</i> spp.	
Dogwood	<i>Cornus florida</i>	
Douglas-fir	<i>Pseudotsuga menziesii</i>	N
Flowering cherry	<i>Prunus virginiana</i> , <i>P. serrulata</i> var.	
Flowering plum	<i>Prunus x blireana</i>	
Goldenrain tree	<i>Koelreuteria paniculata</i>	
Hornbeam	<i>Carpinus betulus</i>	
Incense cedar	<i>Calocedrus decurrens</i>	N, D
Maple, Big leaf	<i>Acer macrophyllum</i>	S, N
Maple, Black	<i>Acer platanoides</i> 'Crimson King'	
Maple, Japanese	<i>Acer palmatum</i>	
Maple, Red	<i>Acer rubrum</i>	
Oak, California Black	<i>Quercus kelloggii</i>	N, D
Oak, Blue	<i>Quercus douglasii</i>	N, D
Oak, Canyon Live	<i>Quercus chrysolepis</i>	N, D
Oak, Cork	<i>Quercus suber</i>	D
Oak, Interior Live	<i>Quercus wislizeni</i>	N, D
Oak, Pin	<i>Quercus palustris</i>	D
Oak, Red	<i>Quercus rubra</i>	D
Oak, Scarlet	<i>Quercus coccinea</i>	D
Oak, Valley	<i>Quercus lobata</i>	S, N, D
Pine, Japanese Black	<i>Pinus thunbergii</i>	
Pine, Ponderosa	<i>Pinus ponderosa</i>	S, N, D
Redwood, California	<i>Sequoia sempervirens</i>	N
Sequoia	<i>Sequoiadendron giganteum</i>	S, N
Sycamore, California	<i>Platanus racemosa</i>	N
Sycamore, London Plane	<i>Platanus x acerifolia</i>	
Tupelo	<i>Nyssa sylvatica</i>	
Tulip Tree	<i>Liriodendron tulipifera</i>	
Walnut, California Black	<i>Juglans californica</i>	N, D
Willow, Arroyo	<i>Salix lasiolepis</i>	N
Willow, Australian	<i>Geijera parviflora</i>	
Zelkova	<i>Zelkova serrate</i>	

### SHRUBS (Small trees, woody plants - understory)

Bush Anemone	<i>Carpenteria californica</i>	N, D
Butterfly Bush	<i>Buddleja davidii</i>	D
Coffeeberry	<i>Rhamnus rubra</i> , <i>R. tomentella</i>	N, D
Crape Myrtle	<i>Lagerstroemia indica</i>	D
Currant/Gooseberry	<i>Ribes</i> spp.	N, D



Cypress, Hinoki False	Chamaecyparis obtusa	
Dogwood	Cornus spp.	
Dogwood, Pacific	Cornus nuttallii	N
Elderberry, Blue	Sambucus mexicana	N, D
Flannel bush	Fremontodendron californicum	N, D
Forsythia spp.	Forsythia x Intermedia, suspensa	
Heavenly Bamboo	Nandina domestica	
Hemlock, Canadian	Tsuda canadensis 'Jeddeloh'	
Holly, American	Ilex opaca	D
Honeysuckle	Lonicera hispidula	N, D
Juniper, Chinese	Juniperus chinensis var. sargentii	
Manzanita	Arctostaphylos densiflora 'Howard McMinn'	N, D
Maple, Red	Acer rubrum 'Bowhall'	D
Mock orange, Western	Philadelphus lewisii	N, D
Oregon Grape	Mahonia aquifolium	N, D
Pine, Mugo	Pinus mugo	D
Pomegranate	Punica granatum	
Quince, Flowering	Chaenomeles	
Redbud, Eastern	Cercis canadensi	D
Redbud, Western	Cercis occidentale	D
Rosemary	Rosemarinus officinalis 'Tuscan Blue'	
Smoke Tree	Cotinus obovatus	
Spice Bush, Western	Calycanthus occidentalis	N, D
Spruce, Blue	Picea pungens glauca, or 'Globosa'	
Spruce, Bird's Nest	Picea abies 'Nidiformis'	D
Toyon	Heteromeles arbutifolia	S, N, D
Wild Lilac	Ceanothus spp.	N, D
Yew, Margarita	Taxus m. 'Margarita'	

**GROUND COVERS (Herbaceous perennials -Ground covers)**

Aster	Aster chilensis	N
Barberry, Japanese	Berberis thunbergii	N
Blackberry, California	Rubus ursinus	N
Breath of Heaven	Coleonema pulchellum	
Burning Bush, Dwarf	Euonymus alatus 'compactus'	
Columbine, Western	Aquilegia formosa	N
Coral Bells	Heuchera spp.	
Coreopsis	Coreopsis spp.	
Coyote Bush, Dwarf	Baccharis pilularis	N, D
Daffodil	Narcissus spp.	
Deer grass	Muhlenbergia rigens	N, D
Fescue	Festuca spp.	N, D
Fuchsia, California	Epilobium canum	N, D
Heath	Erica tetralix	
Lupine	Lupinus spp.	
Manzanita	Arctostaphylos 'Emerald Carpet'	
Milkweed, Showy	Asclepias speciosa	N
Million Bells	Calibrachoa sp.	
Monkey Flower, Sticky	Mimulus aurantiacus	N
Penstemon sp.	Penstemon azureus, P. heterophyllus	N
Pipe Vine	Aristolochia californica	N
Purple Needle Grass	Nasella pulchra	N, D



Rockrose	Cistus spp.	D
Sage	Salvia spp.	
Snowberry	Symphoricarpos spp.	N
Spiraea	Spiraea spp.	
Thyme, Creeping	Thymus serpyllum	
Verbena	erbena rigida	
Wallflower	Erysimum 'Bowles Mauve'	D
Yarrow	Achillea millefolium spp.	N, D

**DISCOURAGED - The following plants are actively discouraged from being included in landscaping within the City of Placerville.**

**TREES (Invasive and not fire safe)**

Eucalyptus	Eucalyptus globules
Tree of Heaven	Ailanthus altissima

**SHRUBS (Invasive and not fire safe)**

Chamise	Adenostoma fasciculatum
Scotch Broom	Cytisus scoparius

**GROUND COVERS (Invasive, Displaces Native Plants, Low wildlife value)**

English Ivy	Hedera helix
Vinca (Periwinkle)	Vinca major



# Master Street Tree Plan - Tree Palette

Medium to Large Trees: Height 35 to > 50 feet



**Dogwood**  
*Cornus florida* 'Cherokee Chief'  
(Red Flowers) / Cherokee Princess  
(White Flowers)'



**Chinese Pistache**  
*Pistacia chinensis*



**Deodar Cedar**  
*Cedrus deodara*



**Tulip Tree**  
*Liriodendron tulipifera*



**Red Maple**  
*Acer rubrum*



**Scarlet Oak**  
*Quercus coccinea*



**Tupelo**  
*Nyssa sylvatica*



**Zelkova**  
*Zelkova serrata* 'Village Green'



**Small Trees: Height 20 to 25 feet**



**Hornbeam**  
*Carpinus betulus – ‘Fastigiata’*



**Eastern Redbud**  
*Cercis canadensis*



**Australian Willow**  
*Geijera parviflora*



**Crape Myrtle**  
*Lagerstroemia indica*

**Native Trees: Height > 65 feet**



**Big Leaf Maple**  
*Acer macrophyllum*



**California Black Oak**  
*Quercus kelloggi*



**Canyon Live Oak**  
*Quercus Chrysolepis*



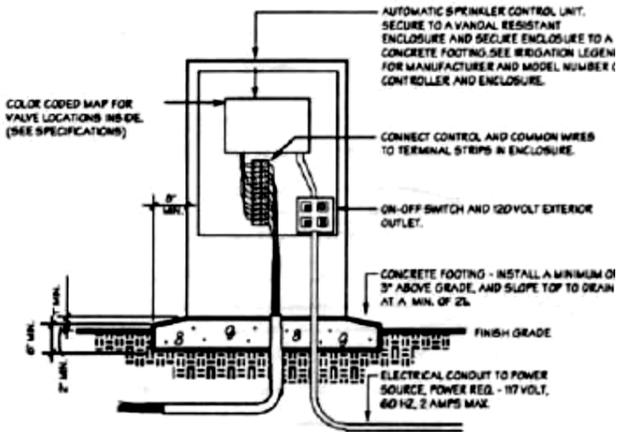
**Incense Cedar**  
*Calocedrus decurrens*



**Ponderosa Pine**  
*Pinus ponderosa*

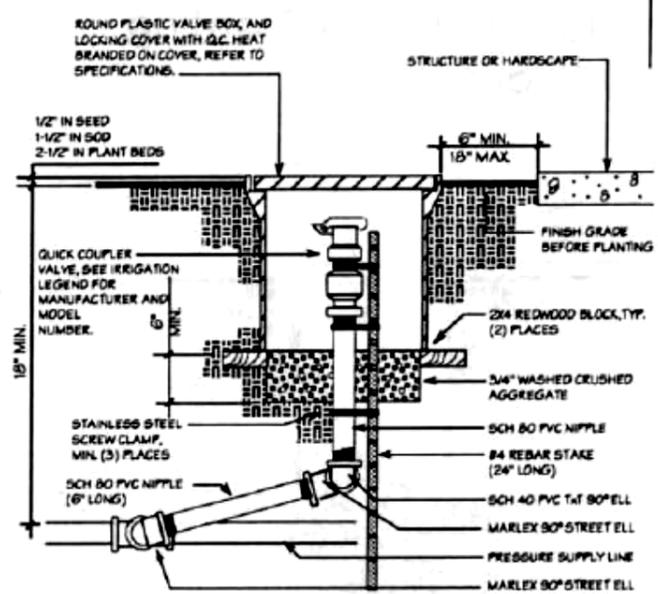


# Appendix 'B' Irrigation Details



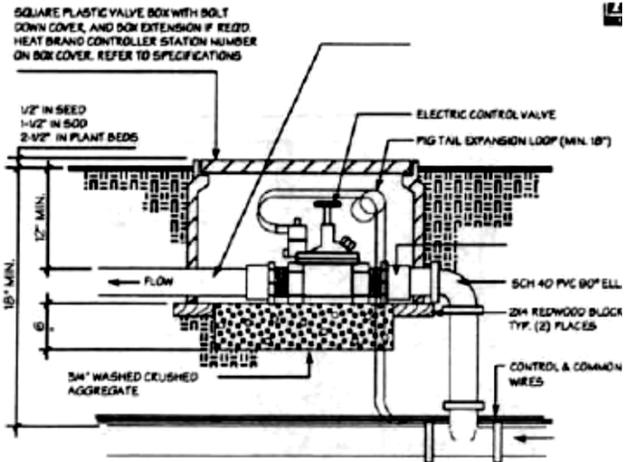
- NOTES:**
- 1) COPIES OF THIS MAP TO BE MADE AND KEPT TO BE USED IN COLOR.
  - 2) NO SPACES SHALL BE MADE BETWEEN CONTROLLER AND OTHER CONTROL VALVES OR ELECTRICAL DEVICES.

**Automatic Controller Detail - Mounted in Vandal Resistant Enclosure** SECTION



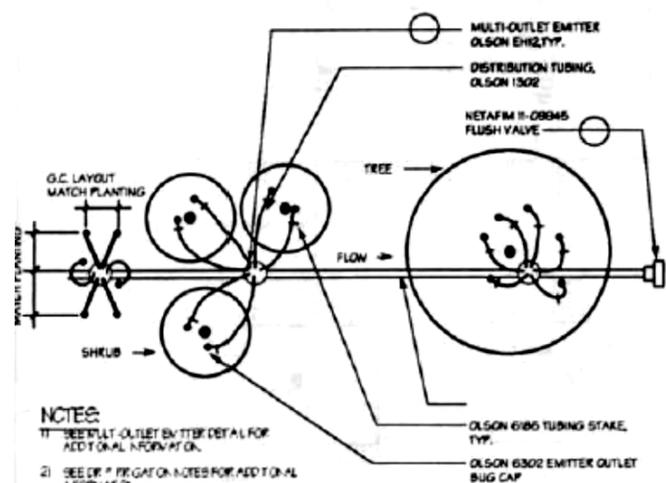
- NOTE:**
- 1) INSTALL VALVE BOXES SO THAT THE TOP OF THE BOX IS FLUSH WITH THE TOP OF ADJACENT HARDSCAPE.

**Quick Coupling Valve Detail Installed in Valve Box** SECTION



- NOTES:**
- 1) NETA VALVE CONTROL VALVES A MINIMUM OF 12" FROM STRUCTURE OR HARDSCAPING.
  - 2) NETA VALVES IN PLANT BEDS WHEREVER POSSIBLE.
  - 3) PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURE OR HARDSCAPING.
  - 4) NETA VALVE BOX SO THAT TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPING.

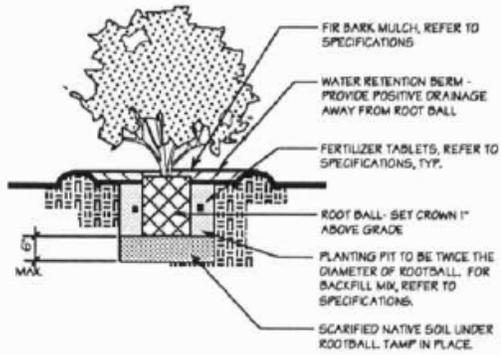
**Electric Control Valve Detail** NOT TO SCALE SECTION



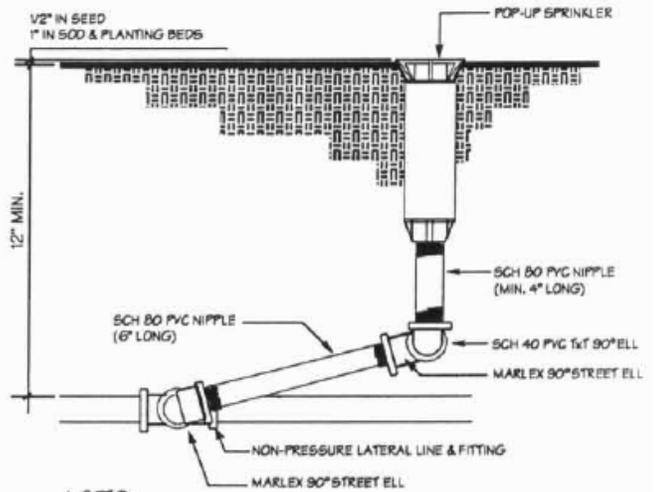
- NOTES:**
- 1) SEE MULTI-OUTLET EMITTER DETAIL FOR ADDITIONAL INFORMATION.
  - 2) SEE Drip IRRIGATION NOTES FOR ADDITIONAL INFORMATION.
  - 3) INSTALL Drip BUT DISTRIBUTION AND EMITTER OUTLETS ON FINISH GRADE SURFACE BELOW VULNERABLE COVERING.
  - 4) SEE PLANTING PLAN FOR LOCATION AND QUANTITY OF SHRUBS.

**Drip Irrigation Layout Detail** NOT TO SCALE PLAN





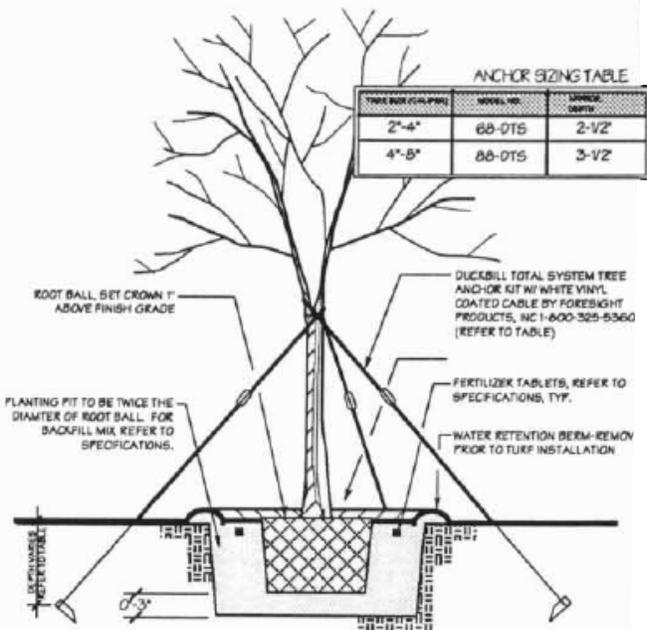
**Shrub Planting Detail**  
NOT TO SCALE SECTION



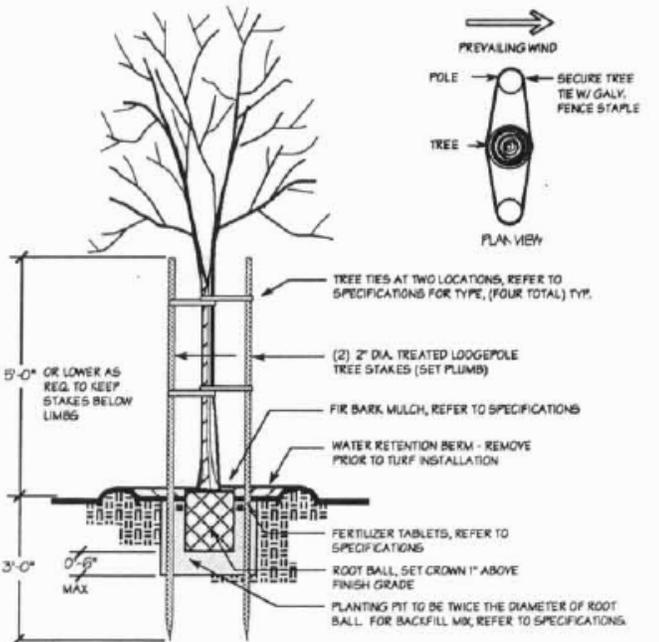
**NOTES:**

- 1) LOCATE HEAD 2' FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGE OF LAWN AREAS.
- 2) LOCATE STREAM SPRAY/NOZZLES 6" FROM ALL STRUCTURES, AND SPRAY HEADS 12" FROM ALL STRUCTURES.
- 3) USE TEFLON TAPE ON ALL MALE THREADS.

**Pop-Up Spray Detail**  
NOT TO SCALE SECTION



**Box/Specimen Guying Detail**  
NOT TO SCALE SECTION VIEW



**Tree Planting Detail**  
NOT TO SCALE SECTION



## Appendix 'C' Glossary of Terms

Refer to Section 10-1-4, "Definitions" of the City of Placerville's Zoning Ordinance for additional information.

### Access (Visual or Physical)

*a means of approaching, entering or viewing*

### Aeration

*exposure of the soil to the air which allows plant roots access to oxygen*

### Ambience

*atmosphere, surroundings or environment*

### Amenities

*attractive or desirable site features*

### Arterial Street

*a minimum eighty (80) foot right-of-way as detailed in the City of Placerville's General Plan*

### Backflow Prevention Device

*apparatus for the purpose of protecting the domestic water supply from contamination*

### Berm

*an undulating mounded area of earth covered with plant materials*

### Bioretention Facility

*a landscaped area that naturally filters stormwater from impervious surfaces through plants and soil before the water enters a drainage system*

### Bioswale

*a landscaped area that naturally filters stormwater runoff from impervious surfaces through plants and soil while conveying the water to a drainage system or storage basin*

### Box Size

*an indication of the size of trees available through nurseries based on the square dimension of the opening of the container*

### Caliper

*a measure of the diameter of a cylindrical object*

### Collector Street

*a fifty-six (56) foot right-of-way as detailed in the City of Placerville's General Plan*

### Conditional Use Permit (CUP)

*allows for special consideration and review of uses not permitted by right in each zoning classification*

### Container Size

*an indication of the size of plants available through nurseries based on the gallonage of soil that the rootball holds*

### Cornice

*an ornamental molding at the uppermost part of an exterior wall of a building*

### Deciduous

*a term describing any plant species that drops all of its leaves during at least one season of the year*

### Design Vocabulary

*the overall style and character of site design elements including the structure, lighting, site furnishings and landscaping*

### Development

*any building or improvements of any type or size on one or more parcels*

### Drip Irrigation

*see Micro-irrigation*

### Dripline

*the area defined by the total circumference of the tree including foliage; the entire area directly beneath the limits of the tree canopy*

### Electrolier

*street lighting fixture*

### Enhanced Pavement

*any paving material other than broom, salt, sand blasted or smooth trowel finished concrete, asphalt or decomposed granite*

### Erosion Control

*measures taken to minimize the stripping away of topsoil by water, wind or other forces*



**Façade Articulation**

*the arrangement and configuration of design details on the exterior walls of a building which determine its style and character*

**Focal Element**

*a center of activity or interest to which the eye is drawn*

**Fuel Modification Zone**

*an area landscaped and maintained in such a way as to minimize the spread of wildfires*

**Hardscape**

*the elements of a site design outside of the building other than the plant materials such as paved surfaces, walls, fences, decorative pots, tree guards and grates, etc.*

**Indigenous**

*see Native*

**Landscape Berm**

*see Berm*

**Low Impact Development (LID)**

*landscape designs for stormwater management that mimic natural processes to reduce the negative effects of impervious surfaces on water quality*

**Mansard Overhang**

*type of roof with a very steep lower portion and a nearly flat upper portion; a simulated roof/parapet*

**Micro-irrigation**

*a slow application of water to plant materials directly at the root zone*

**Moisture Sensor**

*a device which monitors the water content of the soil and conveys this information to the automatic controller, maximizing efficiency of the system*

**Mulch**

*a loose organic material such as bark used to minimize the evaporation of water from the soil and to maintain a soil temperature conducive to plant growth*

**Native**

*originating in, or particular to, a specified place*

**Node**

*a crossroads, intersection or other area at the center of activity or interest*

**“On Center”**

*the spacing of items dimensionally from mid-point to mid-point*

**Parapet**

*portion of a façade that extends above the roof line*

**Parcel**

*a legal description of property that clearly identifies the boundaries*

**Pedestrian Linkage**

*access points or linear corridors that facilitate travel on foot or bicycle*

**Pinching**

*to nip off the growth bud of a tree, shrub or groundcover in order to promote the growth of other limbs or branches.*

**Plant Establishment Period**

*an amount of time given for plants to adapt to new conditions*

**Pollard**

*to prune all the branches of a tree back to the trunk causing an overly dense growth of new shoots*

**Post-emergent**

*a herbicide applied to unwanted plants after germination*

**Pre-emergent**

*a herbicide applied to an area to prevent germination of unwanted plants*

**Proportion**

*the relative size of parts of a whole, or the size of the object in relation to another*



**Public Utility Easement**

*areas defined by the appropriate utility or regulating agency for the purpose of right to access for repairs*

**Raise Up**

*to raise the canopy of a tree by removing the lower limbs*

**Rehabilitate**

*to fix or repair an existing structure, in part or whole*

**Remodel**

*to alter or modify an existing building*

**Restore**

*to renovate an existing building and return it to its authentic historical appearance*

**Rhythm**

*the flow, pace or cadence established by streetscape elements*

**Right-of Way**

*a legal description of a road, street, waterway or railroad boundary dedicated to the city or other governing agency*

**Riparian**

*related to a situated on the banks of a water body such as a river, creek or stream. May also apply to the plant material that grows on such banks*

**Root Deflector**

*a pre-fabricated structure that promotes downward root growth, away from paving or the surface of the soil*

**Scaffold Branches**

*the main supporting branches of a tree*

**Scale**

*relative size or proportion*

**Screen**

*an opaque partition to conceal one area from another*

**Setback**

*a line established by the provisions of this document and the City’s Zoning Ordinance for the placement of parking lots, buildings or other structure*

**Shade Canopy**

*an overhead, roof-like covering created by trees, awnings or architectural elements*

**Species**

*a single distinct kind of plant, differing only in minor details from others of its sort*

**Specialty Pavers**

*tile, flagstone, granite, etc.*

**Staking**

*a means of support for young trees using tall wood stakes*

**Streetscape**

*the overall composition of the right-of-way including the architecture, roadway and landscaping*

**Terne Metal**

*alloy coating, historically made of lead and tin, used to cover steel*

**Theme**

*repetition of common elements*

**Topiary**

*the pruning of shrubs or trees into unnatural or geometric shapes*

**Tree Basin**

*a circular area at the base of a tree that is mounded and mulched to keep water at the root zone*

**Unit Pavers**

*interlocking pavers, turfstone, brick, etc.*

**Variance**

*a specific exception to any regulation in the City’s Zoning Ordinance*

**Variety**

*a descriptive name given to plant types within a species, indicating the particular color of flower or leaf or growth habit*



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## Appendix 'D'                      Zoning Matrix

Explanation of Codes Used In This Chart

**P (permitted use)** denotes a land use which is permitted.

**CUP (conditional use)** denotes a land use which requires approval of a conditional use permit (CUP).

**N (non-permitted use)** denotes a land use which is not permitted.

**T (temporary use)** denotes a land use which requires approval of a temporary use permit per Section [10-4-7](#) of the Zoning Ordinance.

### NOTES:

1. All uses are subject to compliance with the general regulations and performance standards, and specific limits and/or restrictions contained in chapters for specific zoning districts. Additionally, there may be limits and restrictions within overlay zoning districts such as historic districts, the Airport Overlay Zone and specific plan areas.
2. Any use not specifically listed below is not permitted unless the Planning Commission determines a particular land use to be similar to another permitted, conditional or temporary use within a particular zoning district.



ZONING DISTRICT																			
LAND USE	OS	RE	R1-A	R1-20	R1-10	R1-6	R-2	R-3	R-4	R-5	BP	CBD	C	CC	HWC	HC	I	PF	
Accessory Buildings & Accessory Uses	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Administrative Offices	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Agricultural Uses	P	P	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Airports and Heliports	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Animal Hospital /Clinic / Shelter	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	P	N	N	N
Antique Stores	N	N	N	N	N	N	N	N	N	N	N	P	P	N	CUP	CUP	N	N	N
Arcades	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	N	N	N	N	N
Attached Single-Family Residential Dwellings	N	N	N	N	N	P	N	N	N	N	N	N	N	N	N	N	N	N	N
Automobile Sales, New & Used	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	P	N	N
Automobile Services	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	P	N	N
Banks and Financial Institutions	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N	N
Barber / Beauty Shops	N	N	N	N	N	N	N	N	N	N	CUP	P	P	P	P	N	N	N	N
Broadcasting Stations, Amateur	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Broadcasting Stations, Professional	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Bus Station / Taxi Station	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N	N	P	N	N	N
Business and Professional Offices	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	P	P	N	P	N	N	N	N
Caretaker Units / Night Watchman Facilities	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
Carnivals	N	N	N	N	N	N	N	N	N	N	T	T	T	N	T	T	T	T	N
Cemeteries	P	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Charitable Nonprofit Organizations	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P
Chiropractors' Offices	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	P	P	N	P	N	N	N	N



LAND USE	ZONING DISTRICT																		
	OS	RE	R1-A	R1-20	R1-10	R1-6	R-2	R-3	R-4	R-5	BP	CBD	C	CC	HWC	HC	I	PF	
Christmas Tree Sales	N	N	N	N	N	N	N	N	N	N	T	T	T	N	T	T	T	N	N
Churches, Places of Religious Worship	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P	CUP	CUP	CUP	CUP	CUP	CUP
Circuses	N	N	N	N	N	N	N	N	N	N	T	T	T	N	T	T	T	N	N
City Enterprises	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Clinics	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	N	P	N	N	N	N	N	N
Clubs or Associations	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	N	P	N	N	N	N	N	N
Colleges	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Communication Facilities and Buildings	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Community Care Facilities	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Consignment Stores	N	N	N	N	N	N	N	N	N	N	N	P	P	N	CUP	CUP	N	N	N
County Enterprises	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Delicatessens	N	N	N	N	N	N	N	N	N	N	CUP	P	P	P	P	N	N	N	N
Dental Offices	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	P	P	N	P	N	N	N	N
Domestic Violence Shelter	N	P	P	P	N	N	N	N	N	N	N	N	CUP	N	N	N	N	N	N
Drilling for Minerals	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N	N
Dry Cleaners	N	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	N	N
Eating and Drinking Establishments	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N	N
Educational Institutions	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Elementary Schools	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Employee Housing - Small	N	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N
Employee Housing - Large	N	P	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Excavation of Earth/Building Materials	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	CUP	N



**ZONING DISTRICT**

LAND USE	OS	RE	R1-A	R1-20	R1-10	R1-6	R-2	R-3	R-4	R-5	BP	CBD	C	CC	HWC	HC	I	PF
Family Day Care Homes, Small	N	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N	N
Family Day Care Homes, Medium	N	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N	N
Family Day Care Homes, Large	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Fast-Food Restaurant	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	CUP	N	N	N
Financial Institutions/Offices	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
Garbage and Rubbish Fill and Disposal	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N
Gasoline Service Stations	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N	CUP	P	N	N
Golf Courses	P	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Government Facilities	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P	CUP	CUP	CUP	CUP	CUP	P
Health Facilities, Hospitals	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Homeless Shelters	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N
Home Occupations	N	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N
Hotels & Motels	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
Institutional Uses	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N	N	N	N
Institutions of a Philanthropic Nature (charitable nonprofit org.)	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Junk / Wrecking Yards	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N
Laboratories	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	N	N
Laundries self-serve & dry clean	N	N	N	N	N	N	N	N	N	N	N	P	P	P	P	N	N	N
Libraries	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Light Industrial	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	P	P	N
Manufacturing	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N
Markets/No Gasoline	N	N	N	N	N	N	N	N	N	N	N	P	P	P	P	N	N	N



		ZONING DISTRICT																
LAND USE	OS	RE	R1-A	R1-20	R1-10	R1-6	R-2	R-3	R-4	R-5	BP	CBD	C	CC	HWC	HC	I	PF
Medical Offices	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	P	P	N	P	N	N	N
Mining for Minerals	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP
Mobilehome Parks	N	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	N	N	N	N	N	N	N	N
Mortuaries	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Multi-Family Dwellings	N	N	N	N	N	N	P	P	P	P	P	P	P	N	P	N	N	N
Museums	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Natural Resources Developments	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
One Family Dwelling	N	P	P	P	P	P	CUP	CUP	CUP	CUP	P	P	P	P	P	P	N	N
One Family Dwelling, One Guest House	N	P	P	P	P	P	N	N	N	N	N	N	N	N	N	N	N	N
One Family Dwelling, Rent One Room Only	N	P	P	P	P	P	N	N	N	N	N	N	N	N	N	N	N	N
Parks	P	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P	CUP	CUP	CUP	CUP	P
Parking Facilities and Parking Lots	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N	N	CUP	P	N
Pawn Shops	N	N	N	N	N	N	N	N	N	N	N	P	P	N	CUP	CUP	N	N
Pharmacies	N	N	N	N	N	N	N	N	N	N	P	P	P	N	P	N	N	N
Place of Entertainment	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
Playgrounds	P	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P	CUP	CUP	CUP	CUP	CUP
Processing Facilities	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
Professional Offices & Buildings (e.g. accountants, architects, dentists, attorneys, physicians, therapists, engineers)	N	N	N	N	N	N	CUP	CUP	CUP	CUP	P	P	P	N	P	P	N	N
Public Community Buildings	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P
Public Utility Structures	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P



LAND USE	ZONING DISTRICT																	
	OS	RE	R1-A	R1-20	R1-10	R1-6	R2	R3	R4	R5	BP	CBD	C	CC	HWC	HC	I	PF
Radio Transmitters	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Real Estate Tract Offices	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Recycling Collection, Small	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	CUP	CUP	N
Recycling Collection, Large	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	CUP	CUP	N
Recycling Processing Facilities	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CUP	CUP	N
Residential Service Facilities	N	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N
Restaurants	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
Retail Sales, New	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	P	N	N
Retail Sales, Used Merchandise	N	N	N	N	N	N	N	N	N	N	N	CUP	P	N	CUP	N	N	N
Retail Services	N	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
Reverse Vending Machines	N	N	N	N	N	N	N	N	N	N	N	N	P	N	P	N	N	N
Secondary Dwelling Units	N	P	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N
Secondary Schools	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	P
Single-Room Occupancy Facilities	N	N	N	N	N	N	P	P	P	P	N	CUP	CUP	N	N	N	N	N
Special Events Not Over Seventy-two Hours Duration	N	N	N	N	N	N	N	N	N	N	T	T	T	N	T	T	T	N
Stables, four hoofed animals only	N	P	P	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
Storage, Bulk	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	P	P	N
Storage, Outdoor	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	P	P	N
Storage, Underground	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	N	N	N
Supportive Housing(Residential Service Facilities)	N	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N
Tandem Parking Spaces	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Telephone Transmitters	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP



ZONING DISTRICT																		
LAND USE	OS	RE	R1-A	R1-20	R1-10	R1-6	R-2	R-3	R-4	R-5	BP	CBD	C	CC	HWC	HC	I	PF
Television Transmitters	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Trade Schools	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N	N
Transitional Housing (Residential Service Facilities)	N	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	N	N
Truck Terminals	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
Wholesale Operations	N	N	N	N	N	N	N	N	N	N	N	N	CUP	N	N	P	P	N
Worship, Place of	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP



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## Appendix 'E' Administration, Procedures and Processes

### Administration:

The following is an outline of the administrative organizations and procedures regulating land use as delineated in the City's Zoning Ordinance (Title 10 of the Placerville Municipal Code). Refer to the Zoning Ordinance for additional information.

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### Planning Commission:

The City of Placerville's Planning Commission is an administrative body which functions in the following capacity:

- (A) Supervise the administration of the City's Zoning Ordinance.
- (B) Recommend to the City Council on the adoption of rules and procedures necessary or convenient for the filing of use permits, variances, site plans and petitions.
- (C) Act upon all applications for use permits, variances and site plans.
- (D) Make recommendations to the Council upon amendments to the General Plan, Zone Changes or to changes to the provisions of the City's Zoning Ordinance.
- (E) By resolution, minute order request or on its own initiative, recommend to the City Council the adoption of rules implementing the general zoning regulations of the City's Ordinance.
- (F) Make recommendation to the City Council on applications for subdivision maps.

### Development Services Department:

The City of Placerville's Development Services Department is an administrative body which functions in the following capacity:

- (A) Processes and investigates all applications for use permits, variances and site plans.
  - (B) Reviews applications for building permits and all other administrative permits and licenses referred to it to determine their compliance with City standards.
- 

## Procedures & Processes

### Appeals:

The decision of the Planning Commission on an administrative permit may be appealed to the City Council by the applicant or any person directly and adversely affected by the decision, in accordance with the following procedure:

- (A) The appeal shall be filed with the City Clerk on a form furnished by said Clerk, accompanied by a fee established by the City Council by resolution, no part of which may be refunded. Such appeal must be filed within ten (10) days after the date of the decision of the Commission. Such decision becomes final if an appeal is not filed within the time specified.



- (B) Within ten (10) days after the date of filing of the appeal, the City Clerk shall transmit the record on appeal to the Development Services Department.
- (C) Within forty (40) days after the filing of an appeal with the City Clerk, the Council shall hold a public hearing on the appeal at a regular or special meeting of the Council. The Council may affirm or reverse the decision of the Commission and may substitute its decision for that of the Commission, based on the record of appeal and the evidence received at the hearing on appeal. The decision of the Council on such appeal shall be final. Failure of the Council to reach a decision on such appeal within sixty (60) days after the filing of the appeal shall affirm the decision of the Commission.

**Enforcement:**

- (A) The Development Services Department and other law enforcement agencies of the City shall enforce the provisions of this Ordinance.
- (B) No building permit shall be issued by the Development Services Department for construction, demolition, alteration, addition to, or moving of a structure unless such work would comply with the provisions of this Ordinance, or a use permit or a variance was issued by the Commission.
- (C) A permit or license issued by a Municipal or other public agency for a use or structure in violation of a provision of this Ordinance, except as provided by this Title, shall not constitute authorization for such a violation or establish vested rights.

**Abatement:**

The construction, alterations, addition to, moving of a structure, or the use of land or structure, in violation of the provisions of this Ordinance is unlawful and constitutes a public nuisance. The City Attorney, upon order of the Council, shall immediately commence action for the abatement, removal, restraining and enjoinder of such violation in the manner prescribed by law. The remedies provided in this Ordinance are cumulative and shall not exclude other remedies for a violation of this Ordinance as provided by other laws or ordinances.

**Penalties:**

Any person violating any of the provisions of Zoning Ordinance is subject to Section 1-4-5, "Penalty," of City of Placerville's Municipal Code.

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**Minor Deviations:**

- (A) When it is in the public interest, the Development Services Director, or the duly appointed representative, may consider and render decisions on the following minor deviations involving slight modifications to the provisions of the City's Zoning Ordinance (Title 10 of the Placerville Municipal Code):
  1. The reduction of the lot area or the minimum size of the dwelling unit requirements by not more than ten percent (10%) of that required in the zone for not more than one lot or dwelling unit in a development.
  2. The modification of the end stalls of automobile parking space turning radius not less than twenty two feet (22') and reduction in size dimension up to twenty percent (20%) of a loading berth.
  3. The modification of the height of a fence, wall and hedge regulations up to twenty percent (20%).
  4. The modification of the height requirement of uncovered patios, terraces, swimming pools, stairways, or other landings, encroaching into required yard setbacks.



5. The modification of maximum building coverage not greater than five percent (5%) over the permitted coverage.
6. The modification of minimum dwelling unit area not greater than five percent (5%) of the required area.
7. The modification of rear and side yard setbacks not to exceed ten percent (10%).
8. Front yard modifications may also be granted when the irregular shape of a lot prohibits the required front and rear yards. In such cases, the front and rear yards shall be an average setback.
9. The modification of parcel width and/or parcel frontage by not more than ten percent (10%) of that required in the zone for not more than one (1) lot within a parcel map.

(B) Conditions:

In granting a minor deviation, all the conditions set forth in subsection [10-3-11\(B\)](#) of this Chapter shall be made by the Development Services Director, or the designee, and conditions may be imposed. A decision shall be made in writing within twenty (20) days after the filing of the application. One copy shall be mailed to the applicant.

(C) Development Services Director Consideration Discretionary:

The Development Services Director, or the duly appointed representative, may consider and determine any matter within the scope of this section or refer such matter to the Commission for its determination.

(D) Application and Fee:

Application for a permit shall be filed with the Development Services Department on a form furnished by said Department, accompanied by a site plan and a fee established by the City Council by resolution, no part of which may be refunded. When the applicant is not the owner of the property, the written authorization of the owner shall accompany the application. The application shall not be accepted for filing by said Department unless it conforms to the filing requirements established by the Commission.

(E) Notification of Adjacent Property Owners:

The Development Services Director or an authorized representative shall contact adjacent property owners and shall advise of the applicant's request. A five (5) day period shall be provided for response from adjacent property owners.

(F) Appeals of Determinations:

If the applicant or adjacent property owner is dissatisfied with the decision, the decision may be appealed to the Commission within ten (10) days after the decision is rendered. Such appeal shall be in writing and shall be filed with the secretary of the Commission. Upon the receipt of such appeal, the secretary of the Commission will establish the date, time and place to hear such appeal. The Commission, upon receipt of the Development Services Director's action, may require said minor deviation to be presented at a public hearing before the Commission. No permits shall be issued until the Planning Commission concurs with the staff's action. The decision of the Planning Commission is appealable to the City Council within ten (10) days of the Commission's decision.



**Exhibit 1:      The following exhibit is an outline of the application procedure for a  
GENERAL PLAN LAND USE AMENDMENT.**

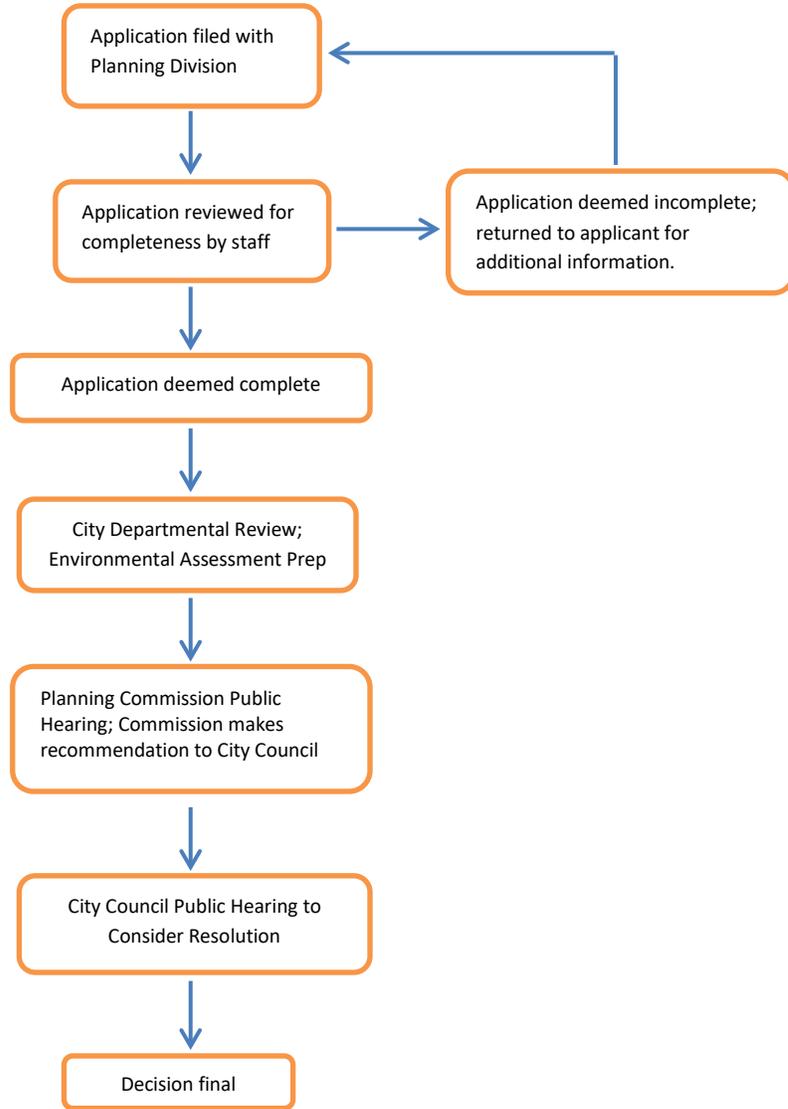
**Process:** California State Law requires that all cities and counties have comprehensive General Plans that provide a policy statement and guide for the development of the City. The General Plan Land Use Designations are a comprehensive plan for the future growth and development of the City. By state law, amendments to the General Plan Land Use Element can be made only four (4) times during any calendar year. Requests for changes to the General Plan will first be considered by the Planning after conducting a public hearing on the matter. The Planning Commission must make a written recommendation to the City Council. If the Planning Commission recommends approval to the City Council, the Council will then schedule and conduct a public hearing on the request(s). The City Council as the legislative body for the City may adopt the changes or deny the changes by resolution.

Figure A illustrates the application procedure, which takes approximately two months.

**Submittals:** A request for a General Plan Amendment includes submitting properly completed City of Placerville Planning Application, General Plan Amendment form and Environmental Assessment Forms; submittal of a detailed map of the area(s) and the required application fees. All required forms may be obtained from the Planning Division or the City of Placerville website.



Figure A. General Plan Amendment Flow Chart



**Exhibit 2: The following exhibit is an outline of the application procedure for a ZONE CHANGE.**

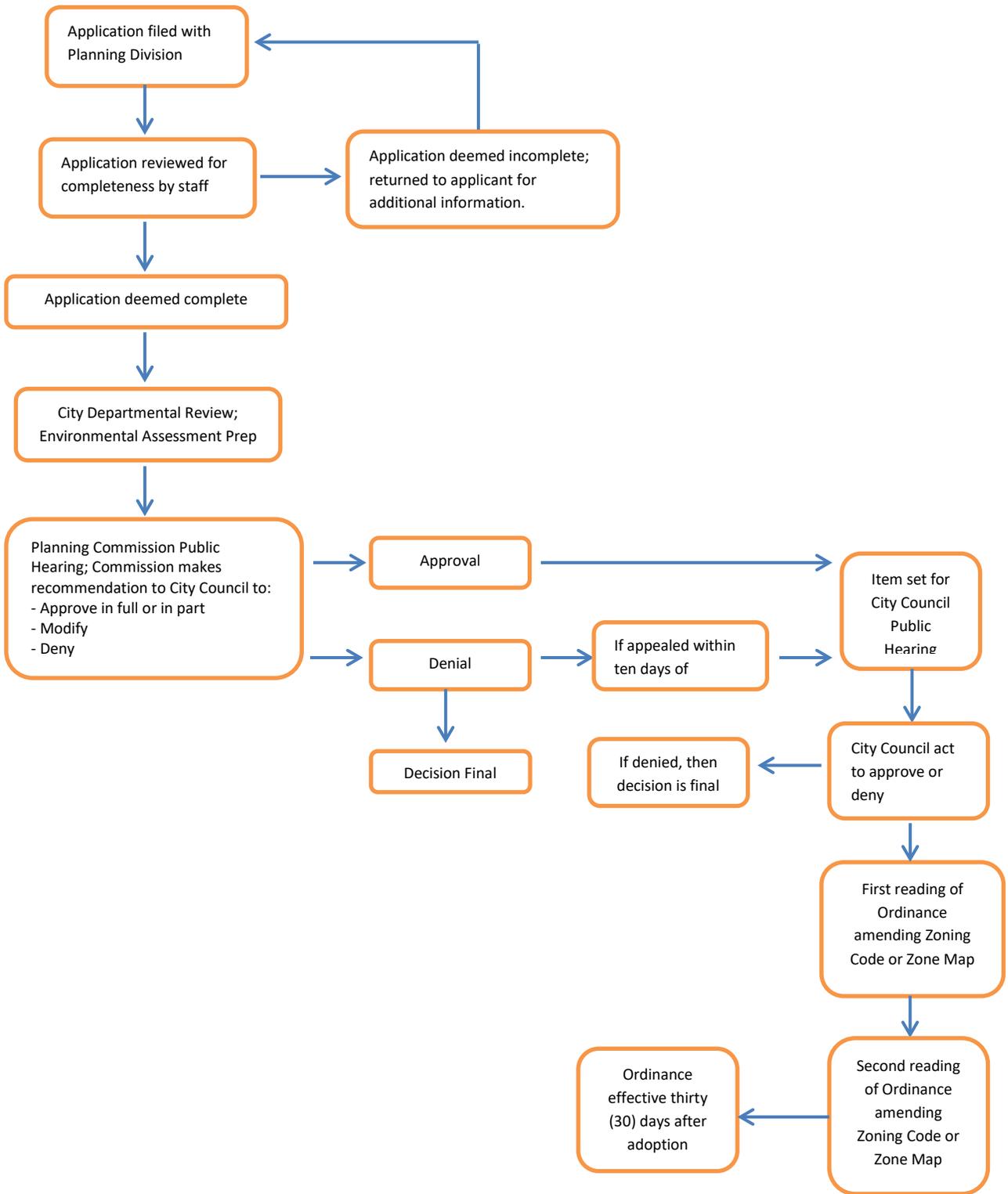
**Process:** The City of Placerville’s Zoning Ordinance (Title 10 of the Placerville Municipal Code) classifies all property into various zoning classifications which control both land uses and development standards. California State law requires zoning to be consistent with the City’s General Plan. A proposed Zone Change (rezoning) is reviewed for consistency with the General Plan and the compatibility of land use with surrounding uses. Unincorporated land may also be rezoned by the same process as rezoning. The City zoning then becomes effective upon annexation. Approved Zone Changes are adopted by Ordinance which requires two readings before the City Council and a thirty (30) day waiting period before becoming effective. Rezone applications previously acted upon by the Planning Commission may not be considered again for a period of one year.

Figure B illustrates the application procedure, which takes approximately two months.

**Submittals:** A request for a Zone Change (rezoning) includes a properly completed City of Placerville Planning Application, a properly completed Zone Change form, a properly completed Environmental Assessment Forms Packet, a detailed map of the area(s) and the required application fees.



Figure B. Zone Change (Text and Map) Flow Chart



**Exhibit 3: The following exhibit is an outline of the application procedure for a CONDITIONAL USE PERMIT.**

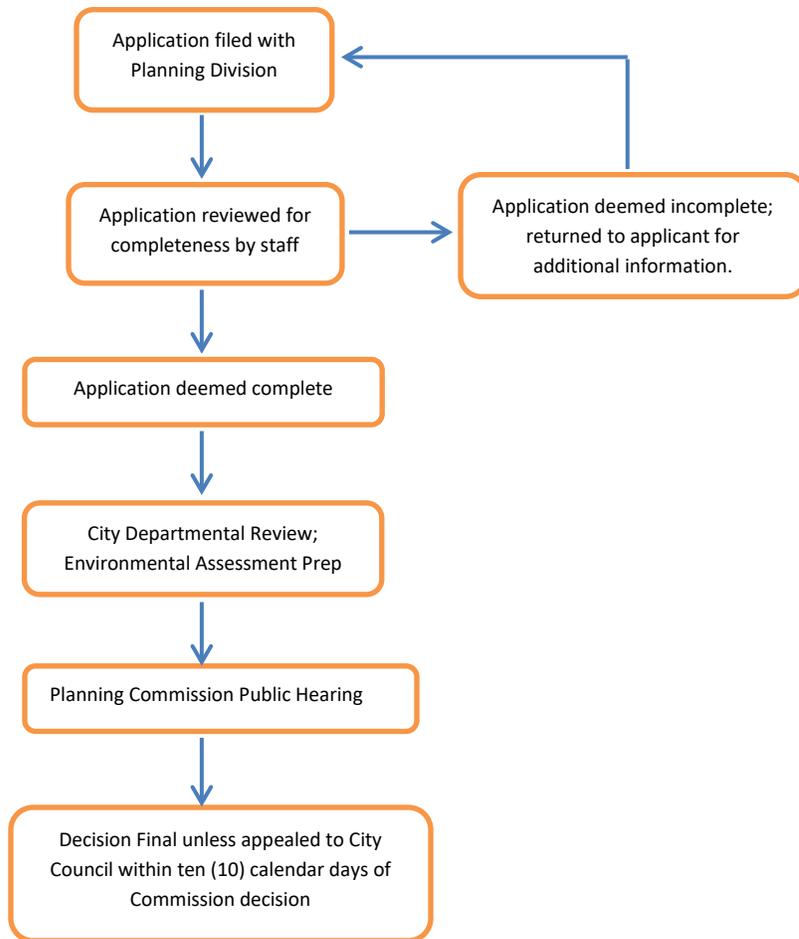
**Process:** In each zoning classification, different uses are permitted and prohibited for property in that zone. In addition, various uses are permitted subject to the granting of a CUP (Conditional Use Permit). CUPs allow for special consideration and review of uses not permitted by right in each zoning classification, where such uses may be deemed essential or desirable to the public convenience or welfare, and are in harmony with the various elements or objectives of the General Plan, and are not detrimental to surrounding property. Site compatibility is reviewed and conditions may be imposed on a proposed use. Once a conditional use has been established it runs with the land and is subject to review for compliance with imposed conditions. A detailed summary of the procedures governing the granting and administration of Conditional Use Permits is provided in Section [10-3-6](#) of the City's Zoning Ordinance.

Figure C illustrates the application procedure, which takes approximately six to eight weeks.

**Submittals:** A request for a Conditional Use Permit includes a properly completed City of Placerville Planning Application, a properly completed Conditional Use Permit form, and fifteen (15) copies of the Plot Plan, a properly completed Environmental Assessment Forms Packet, and the required application fees.



Figure C. Conditional Use Permit Flow Chart



**Exhibit 4: The following exhibit is an outline of the application procedure for a VARIANCE.**

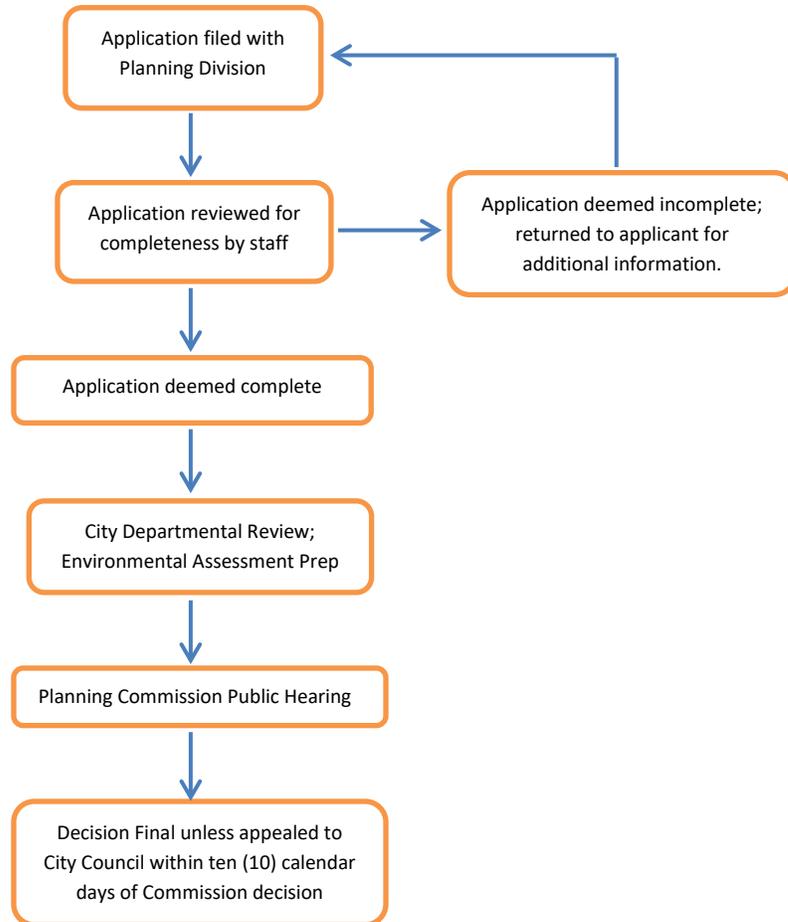
**Process:** Each zoning classification indicates specific land and structure regulations. A Variance is a specific exception to any regulation in the Zoning Ordinance. It may be used when there are special circumstances applicable to a parcel of land or building that prevents the property from being used to the extent intended by the zoning. Variances can be granted only when a finding can be made by the Planning Commission that the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. An example includes property which has a very steep slope and cannot be practically built upon without varying from setback requirements. A detailed summary of the procedures governing the granting and administration of Variances is provided in Sections [10-3-5](#) and [10-3-6](#) of the City's Zoning Ordinance.

Figure D illustrates the application procedure, which takes approximately six to eight weeks.

**Submittals:** A request for a Variance includes a properly completed City of Placerville Planning Application, a properly completed Variance application form which, fifteen copies of the Plat Plan, a properly completed Environmental Assessment Forms Packet and the required application fees.



Figure D. Variance Flow Chart



**Exhibit 5. The following exhibit is an outline of the application procedure for TENTATIVE PARCEL & SUBDIVISION MAPS.**

**Process:** A subdivision is the division of land for the purpose of sale, lease or financing. The State Subdivision Map Act provides general regulations and procedures that the local government must follow in the regulation of subdivision. The City of Placerville also has a Parcel Map Ordinance which provides specific City guidelines and standards for the regulation and control of minor subdivisions. In addition, the City has a Sloping Parcel Ordinance (City Code Section [10-4-2\(D\)4](#)) that is applicable to R-1 (single-family) property division. The Sloping ordinance sets forth minimum parcel area requirements for hillside development of land divisions on parcels with slopes in excess of ten percent (10%) to minimize impacts to sloping parcel characteristic natural features and elements.

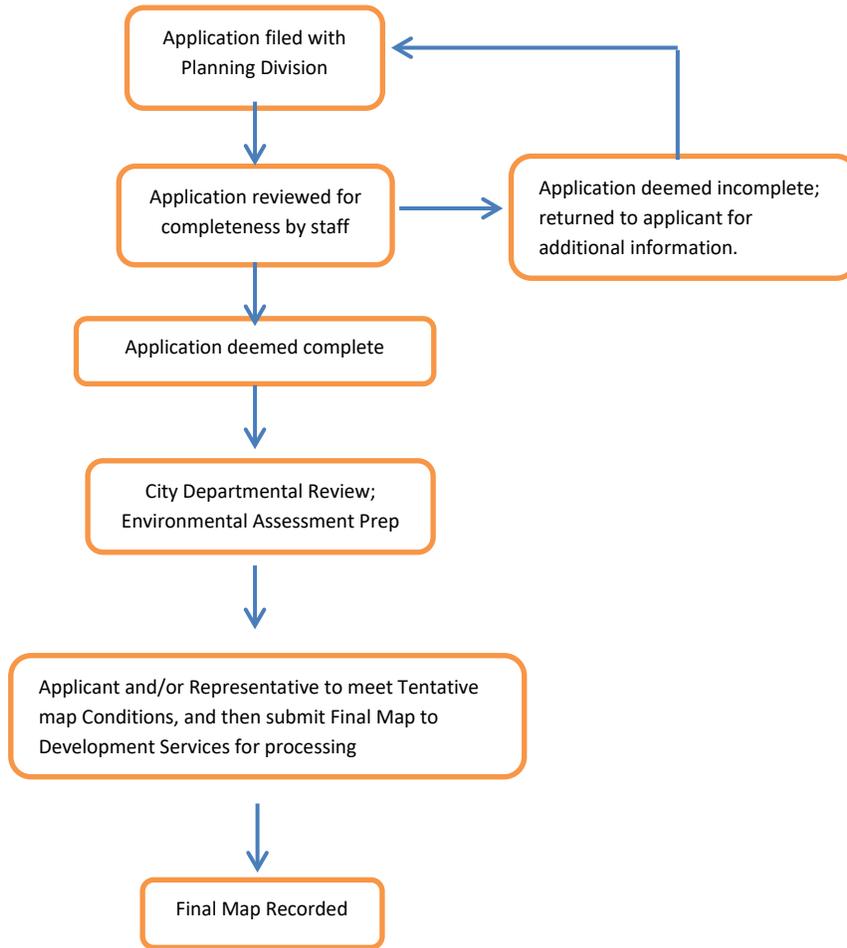
A subdivision of four (4) or fewer parcels requires Tentative Parcel Map approval. Tentative Parcel Maps shall expire twenty-four (24) months after City approval unless recorded under the Final Map procedure. Applications for extension may be submitted for approval by the City.

Figure E illustrates the application procedure for a Tentative Parcel Map, which takes approximately six to eight weeks. Figure F illustrates the application procedure for a Subdivision Map.

**Submittals:** Tentative Parcel and Subdivision Map submittals include a properly completed City of Placerville Planning Application, fifteen (15) copies of the Tentative Map, a copy of the recorded legal description of the parcel, a property owner's authorization letter for engineer/surveyor/applicant to proceed with all phase of the parcel split, a properly completed Environmental Assessment Forms Packet, and the required application fees.



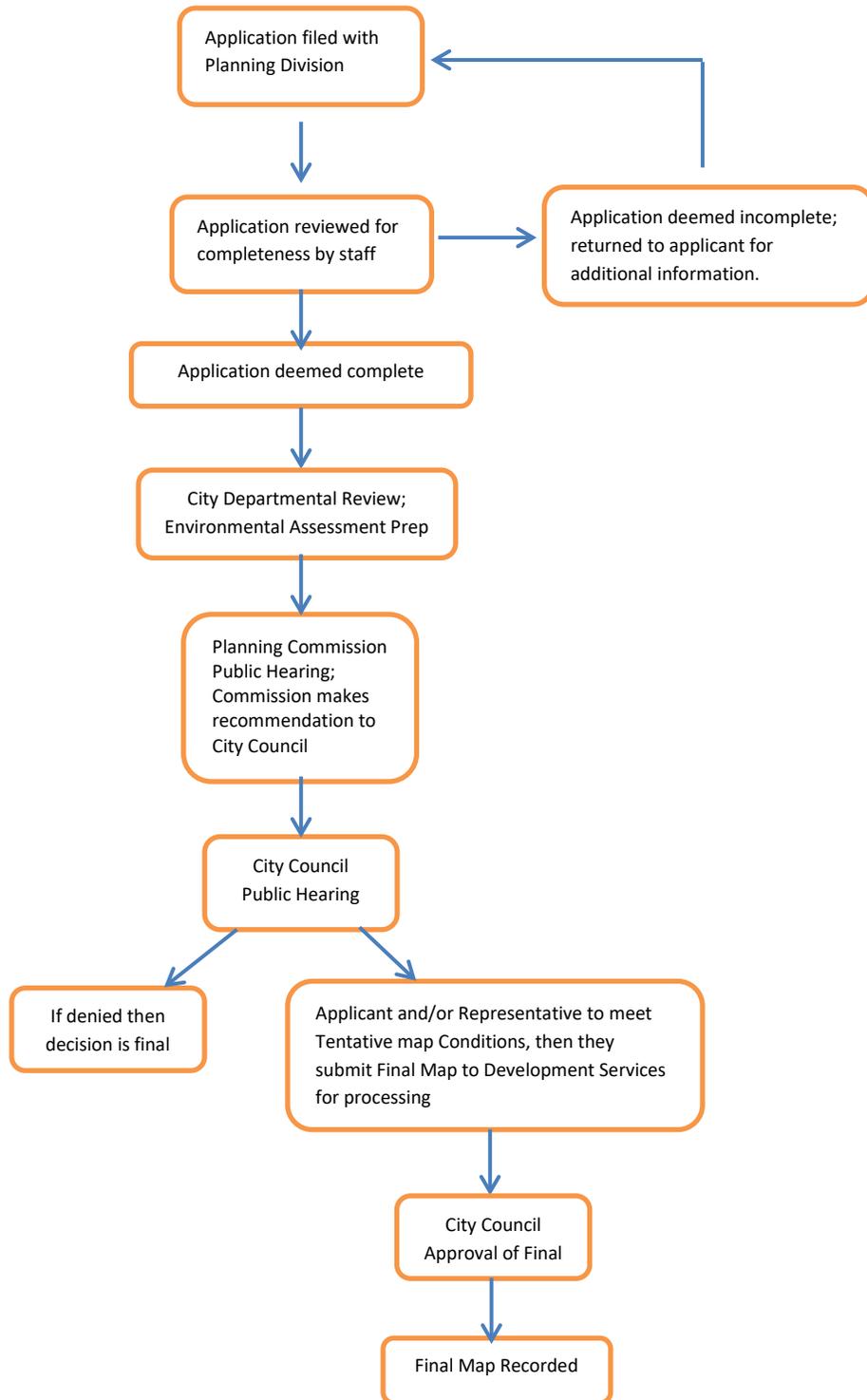
Figure E. Tentative Parcel Map Flow Chart



Note: Development Services Director Decision may be appealed to the Planning Commission within ten (10) calendar days of the Director’s decision.



Figure F. Subdivision Map Flow Chart



**Exhibit 6. The following exhibit is an outline of the application procedure for FINAL MAPS**

**Process:** The Final Map is a legal document based on the Tentative Parcel Map. It must be prepared by a civil engineer or licensed land surveyor authorized to practice within the State of California, in accordance with the requirements of the State Subdivision Map Act, the City’s Parcel Map Ordinance, or Subdivision regulations. The Final Map is a legal description of the lots created by a subdivision and is recorded with the County Recorder.

Figure G illustrates the approval process for Final Maps, which takes approximately four (4) weeks. All conditions of a Tentative Parcel Map must be met before the Final Map can be recorded.

**Submittals:** Final Map submittals include Map Check Fee; seven (7) complete sets of the map; one (1) complete set of all research including a Preliminary Title Report Package that includes one copy of each document referenced in the title exceptions; two (2) complete sets of calculations showing boundary and individual lot/parcel closures with area. Additional calculations may be required to justify your boundary and lot/parcel configurations.

**Figure G. Final Map Flow Chart**

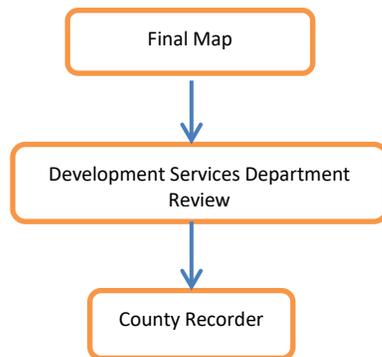


Exhibit 7. Any application for a discretionary permit must be accompanied by a properly completed ENVIRONMENTAL ASSESSMENT FORM, as indicated on the City of Placerville Planning Application. The following exhibit summarizes the procedures involved in Environmental Assessment Evaluation Process. For a complete Forms Packet, contact the City of Placerville Development Services Department.

Environmental Assessment Evaluation Process:

**Initial Review:** The first step in the CEQA process is an initial, or preliminary, review by City staff. During this preliminary review, all development applications submitted to the City are evaluated to determine if they can be classified as "projects" under CEQA. If a development proposal is deemed a "project", it may require further environmental review, or it may be exempt from the requirements of CEQA by state statute or categorical exemption under the CEQA Guidelines.

**Environmental Analysis:** For projects that are not exempt, City staff must perform an environmental analysis or Initial Study. The Initial Study aids City staff in determining the environmental effects of the project and the corresponding course of action required under CEQA. Based upon the results of the Initial Study, City staff makes a determination of the project's potential environmental impacts. Depending upon the significance of the project's environmental impacts either a Negative Declaration (ND), Mitigated Negative Declaration (MND) or an Environmental Impact Report (EIR) is prepared.

**Notification of Determination:** After deciding which environmental determination is required for the project, staff informs the applicant of the environmental determination and either prepares or directs the preparation of the appropriate documentation. City staff may choose to prepare Negative Declarations or Mitigated Negative Declaration or may determine that arrangements for their preparation should be made. Environmental Impact Reports (EIRs) are typically prepared by an environmental consulting firm under contract with the City.

**Lead Agency Approval and Notice of Determination:** Once the environmental documents have been prepared, made available for public review and approved by the appropriate decision-making body of the Lead Agency, a Notice of Exemption or a Notice of Determination is filed with the appropriate department. Filing of the Notice of Determination begins the statute of limitations for court challenges based on CEQA. If no Notice of Determination or Notice of Exemption is filed, a longer period for court challenges exists.



## Exhibit 8. The following exhibit is an outline of the objective, purpose and application procedure for SITE PLAN REVIEW

### Objectives and Purpose:

To encourage the orderly and harmonious development of property within the City; maintain public health, safety, and welfare, maintain property and improvement values throughout the City; encourage the physical development of the City; to preserve the historic and scenic character of State-designated scenic highway corridors.

The Planning Commission shall review each application for a building permit in the following land use categories:

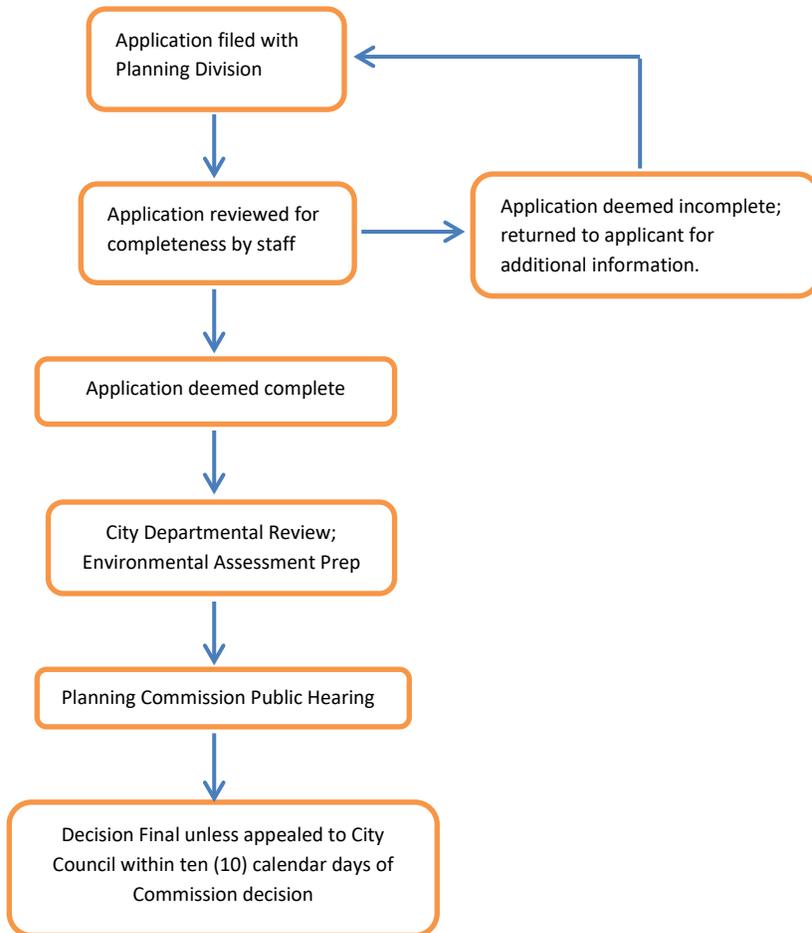
1. All new construction of commercial structures; or multi-family structures, including duplexes, located within the R-2, R-3 and R-4 zones.
2. Any exterior additions or combination of additions thereof which would add one thousand (1,000) square feet or more to existing commercial or multi-family buildings within the lifetime of the building.
3. Any additions or conversions to commercial, multi-family, or single-family structures which would cause a change in occupancy as defined by the California Building Code.
4. Relocation of buildings and structures, except single-family dwellings.
5. Parking structures and lots.
6. Any destruction or alteration of buildings in an historical district or historical building as identified in Subsection [10-4-9\(H\)](#).
7. All new construction of structures in the PF Zone.
8. All new construction of single-family attached dwellings.
9. Any structure which increases the coverage of Hangtown Creek as defined in Section [8-3-28](#) of this Code.
10. New Formula Businesses and major exterior modifications to existing Formula Businesses within the Central Business District (CBD) zone. Major modifications are those defined in Section [10-4-9\(P\)](#) herein.
11. Single-room occupancy facilities.

**Process:** Figure H illustrates the application procedure, which takes approximately eight or more weeks.

**Submittals:** A request for Site Plan Review includes a properly completed City of Placerville Planning Application, a properly completed Site Plan Review Checklist form which, fifteen copies of all plans specified in the checklist, a properly completed Environmental Assessment Forms Packet and the required application fees.



Figure H. Site Plan Review Flow Chart



## Exhibit 9: The following exhibit is an outline of the objective, purpose and application procedure for HISTORIC DISTRICT REVIEW

The city of Placerville has established Historic Districts in order to preserve and protect the community's historic resources. Any and all proposals for properties within such Districts are subject to HISTORICAL DISTRICT REVIEW by the Planning Commission/Appearance Review Committee. The treatment of historical buildings within the city as well as the requirements of the HISTORICAL DISTRICT REVIEW process is outlined in this Exhibit.

Pursuant to Section [10-4-10](#) of the city's Zoning Ordinance, Historical Buildings in the City, old and historical buildings in Historical Districts shall be subject to conditions and regulations for the protection, enhancement and perpetuation of the historic-type architecture. The requirements of Section [10-4-10](#) are outlined as follows.

**Historical Criteria:** Secretary of Interior Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

**Historical District:** Said Historical District shall include all of the territory bounded as shown in Exhibit "A", which is on file in the office of the City Clerk. A Historical District shall predominantly comply with this Historical Ordinance.

**Historical Buildings Preserved;** No presently existing building of special historical or aesthetic value, or of the historic-type of architecture situated within that portion of a historical district described in this Section, shall be tom down, demolished or otherwise destroyed without conforming to this Section.

**Building Removal: Permit Required;** In the event that any building of historical value or interest is damaged by fire, act of God, or in any other manner, or becomes unsafe as defined in the adopted City building codes, or in such state of disrepair or dilapidation as to be untenable by reason of any cause that it cannot with reasonable diligence be repaired and restored, the same may be removed upon issuance of a permit for removal as hereinafter provided.

**Construction and Repairs: Conformity Required:** All buildings which shall be hereinafter constructed or altered as to their exterior appearance (within the Historical Districts described in this Section) shall, as to their exterior architecture visible from the street, conform to the Historical Criteria described in this Section.

**Removal or Permit Issuance:** No permit for demolition or removal of any building of historical architecture of special historical or aesthetic interest situated within the area set forth in this Section shall be issued without the approval of the Planning Commission.

It is the intent of this Section not to require new construction to duplicate historic-type construction and/or historical architecture. However, it is a requirement that new construction be compatible with historical architecture.

**Construction and Repairs: Permit Issuance;** No permit for construction or alteration of any building within the area set forth in this Section shall be issued until the plans for construction or alteration have been approved by the Planning Commission. Notwithstanding anything contained in this Section to the contrary, in cases requiring any repair to prevent substantial loss or damage to property, emergency repairs to adequately provide for health and safety, may be made prior to obtaining a permit as required by this Section.



Appeal to City Council: Appeals of Planning Commission decisions shall be in such a manner as provided in Section [10-3-7](#) of the city's Zoning Ordinance.

Figure H illustrates the application procedure, which takes approximately six to eight weeks.

\*Minor and Major Changes: Any minor changes to an approved plan shall follow the procedure established in Sections [10-4-9](#) and [10-4-10](#) of the city's Zoning Ordinance.

Violation of Permit: It shall be unlawful for any person to proceed under any permit in a manner which constitutes a material variance from the terms of the permit or the representations on which it was issued, and in the event of such a violation, the permit may be cancelled forthwith by action of the Planning Commission.

Scope of Section: The regulations contained in this Section are additional to [Title 10](#) of the city's Zoning Ordinance as amended, and other sections; provided, however, that in the event of any conflict, the provisions of this Section shall prevail.

Penalties: Every person violating any of the provisions of this Section shall be guilty of a misdemeanor, and, upon conviction thereof, shall be punishable by a fine not exceeding five hundred dollars (\$500.00), or by imprisonment for a term not to exceed three (3) months, or by both such fine and imprisonment, and such person deemed guilty of a separate offense for each day, or portion thereof, during which any violation of this Section is committed or continued.

#### HISTORICAL DISTRICT REVIEW: Requirements and Application

Historical District Review Required: In addition to the policies and regulations for the protection, enhancement and perpetuation of the old and historical buildings in the designated Historic Districts of the City, applications for a building permit in the following categories shall require review and approval of the Planning Commission:

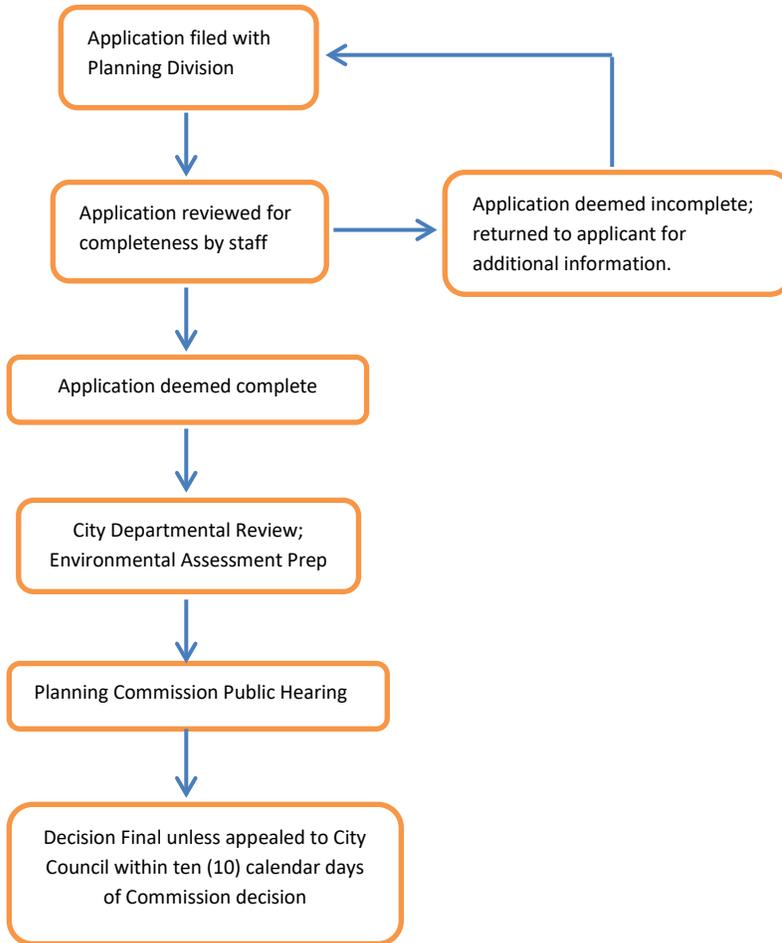
1. Building Removal: All reasonable effort shall be made to repair and restore any building of historic value or interest within the Historic District. It shall be the responsibility of the Historic Advisory Committee to review any application for building removal. Any structure determined to be of historic merit shall require approval of the Planning Commission prior to permit issuance.
2. Construction and Repairs: No permit for construction or alteration of any building visible from the street within the Historic District shall be issued until the plans for construction or alteration have been approved by the Planning Commission.

#### HISTORIC DISTRICT REVIEW CRITERIA:

Required information for Historic Design Review shall be the same as for Site Plan Review as required by Section [10-4-9](#) of the city's Zoning Ordinance.



Figure H. Historical District Review Flow Chart



## Exhibit 10: The following exhibit is an outline of the objective, purpose and application procedure for SPECIAL TEMPORARY USE PERMIT

Temporary uses required for the proper functioning of the community or uses that are temporarily required in the process of establishing a permitted use or in the construction of a public facility are permitted subject to a SPECIAL TEMPORARY USE PERMIT. The procedure for filing a SPECIAL TEMPORARY PERMIT request is outlined in this exhibit. Refer to Section [10-4-7](#) of the city's Zoning Ordinance for additional information.

### (A) Uses Permitted Subject to Special Temporary Use Permits:

1. Temporary outside display and sales of merchandise in the "C" zone;
2. Christmas tree sales;
3. Carnivals, circuses, special events of not over seventy-two (72) consecutive hours;
4. Parking and storage of materials and earth moving or construction equipment incidental to the carrying on of a public works project, subdivision or construction project;
5. Such other uses as the Planning Commission may, by resolution, deem to be within the intent and purpose of the city's Zoning Ordinance.

### (B) Special Temporary Use Permit Procedure:

1. Application and filing fee for a special temporary use permit may be made by the property owner or his authorized agent. Such applications shall be filed with the Development Services Department and are subject to a filing fee.
2. Applications are reviewed by the Development Services Department. The Development Services Director shall approve, conditionally approve or disapprove such applications. Approval or conditional approval shall be given only when in judgment of the Director, such approval is within the intent and purpose of the city's Zoning Ordinance.
3. Special Temporary Use Permits shall specify the period of time set by the Development Services Director during which the use may be carried out, not to exceed one year from the date of issuance of the permit.
4. Appeals of the Development Service Director's determination may be made to the Planning Commission within ten (10) days after the decision is rendered. Such appeals shall be in writing and shall be filed with the Secretary of the Planning Commission. Upon the receipt of such appeals, the Secretary of the Commission will establish the date, time and place to hear such appeal. The Commission, upon receipt of the Development Services Director's action, may require said determination to be presented at a public hearing before the Commission. No permits shall be issued until the Planning Commission makes a determination. The determination of the Commission may be appealed to the City Council per the procedure established in Section [10-3-7](#) of the city's Zoning Ordinance and outlined in the ADMINISTRATION section of this Appendix.



## Exhibit 11: The following exhibit is an outline of the objective, purpose and application procedure for TEMPORARY MOBILE HOMES OR COMMERCIAL COACHES

Temporary uses such as TEMPORARY MOBILE HOMES (manufactured homes) OR COMMERCIAL COACHES which meet established safety standards and where a need for such use has been demonstrated are permitted subject to permit. Such use is to be of a temporary nature only, and a termination date shall be specified on all permits. Permits shall be granted for a period up to one year, and an extension of six (6) months or longer may be granted if good and valid reasons have fit been established for such extension. A TEMPORARY MOBILE HOME OR COMMERCIAL COACH use may be permitted in zones where such use will not adversely affect existing land uses. The procedure for filing a TEMPORARY MOBILE HOME OR COMMERCIAL COACH PERMIT request is outlined in this exhibit. Refer to Section [10-4-6](#) of the city's Zoning Ordinance for additional information.

(A) APPLICABILITY: Temporary mobile home or commercial coach permits shall apply to:

1. Temporary real estate offices;
2. Mobile homes where single-family residential units are being constructed;
3. Temporary uses for offices, retail sales and other B-2 occupancies and defined in the Uniform Building Code.

Temporary mobile home or commercial coach permits do not apply to:

1. Licensing of mobile vendors which provide a service to residents;
2. Temporary construction offices.

(B) PROCEDURE: The procedure for obtaining a temporary mobile home or commercial coach use permit is as follows:

1. Application: An application for a temporary mobile home or commercial coach use permit shall be filed by the owner of the property for which the permit is sought or by the authorized representative of the owner. Such application shall be made to the Planning Commission and shall be on forms furnished by the Secretary of the Planning Commission. As part of the application a plot plan shall be submitted which is drawn to scale and which designates all land uses on the property, location of all structures on the property, location of proposed mobile home or commercial coach, utility connections, yard, off-street parking, and other information that the Planning Division may require.
2. Filing Fee: The permittee shall pay the City a filing fee established by resolution of the City Council to defray costs incurred by the City in the issuance of said temporary mobile home or commercial coach use permit.
3. Commission Findings and Decision: The Planning Commission shall announce and record its decision and action. Such report shall recite the findings of the Commission upon which it bases its decision. If the decision is favorable to granting the temporary mobile home or commercial coach use permit, the report may also contain any conditions to be imposed, including penalties for violation of termination date.



4. Notification: The Development Services Director or authorized representative shall notify all property owners within three hundred feet (300') of the property for which the permit is sought, of the requested use permit ten (10) days prior to any action of the Planning Commission. If comments are received, said comments shall be included in the staffs report to the Planning Commission.
5. Revocation: The Commission may revoke any temporary mobile home or commercial coach permit for noncompliance or violation of the conditions set forth in granting such permit. A written notice of intention to revoke shall be mailed to the applicant not less than ten (10) days before the Commission action.

(C) APPEALS: Appeals shall follow the provisions set forth in Section [10-3-7](#) of the city's Zoning Ordinance.

(D) HARDSHIP MOBILE HOME: A Conditional Use Permit (CUP), see Section [10-3-6](#) of City Code, may be granted to the owner of an existing principal dwelling to permit one temporary mobile or manufactured home unit for the use of a member of his/her family provided the following findings are made by the Planning Commission:

1. A hardship connected with a health condition as verified by a physician licensed to practice medicine and surgery in California would be substantially reduced by the use of the mobile home.
2. The use will not detrimentally affect the use of neighboring properties.
3. The property is zoned as single-family residential.
4. The placement of the mobile home on the property complies with the minimum yard requirements of the applicable zone.
5. At least one parking space is provided for the mobile home.
6. The parcel has a minimum area of ten thousand (10,000) square feet.
7. The mobile unit has a minimum area of three hundred (300) square feet and a maximum area of one thousand (1,000) square feet.
8. All utility connections to be installed as required by City Code.
9. The mobile home is currently licensed as required by the Vehicle Code of the State of California, has a valid State insignia and remains in a mobile condition.

In all cases, the permit for mobile home use shall be re-inspected annually and must be terminated if the finding of hardship, for which approval was given, no longer exists.



Exhibit 12: SECONDARY DWELLING UNITS are subject to the following development standards  
(Section [10-4-12](#) of the City's Zoning Ordinance).

- (A) It is the intent of this section to further facilitate the creation of secondary dwelling units within the City of Placerville; providing a source of housing within the City by streamlining the application process.
- (B) The secondary unit shall be in compliance with existing zoning requirements, including setbacks and lot coverage.
- (C) The owner of the property must reside on the property; this agreement must be recorded with the County Recorder-Clerk prior to a certificate of occupancy issued for the secondary dwelling unit.
- (D) In addition to providing two (2) parking spaces for the primary residential structures, one additional parking space (for a total of 3) shall be provided on the property.
- (E) There shall not be more than one secondary unit allowed per parcel.
- (F) The secondary unit shall connect to public sewer and water utilities when they are available.
- (G) The secondary dwelling unit shall be architecturally compatible with the primary residence. The single-family structure shall maintain its single-family character.
- (H) A minimum lot size of five thousand (5,000) square feet shall be required.
- (I) The floor area for an attached or detached secondary dwelling unit shall not exceed 1,200 (twelve hundred) square feet.
- (J) The secondary unit shall not cause significant adverse impacts on public services and resources.
- (K) The secondary unit shall have a separate outside entrance or a hallway leading directly to the outside.
- (L) A secondary dwelling unit shall not be added to a single-family unit which is nonconforming to the Zoning Ordinance.
- (M) The parcel on which a secondary dwelling unit is proposed shall be located within a residential zone and have a permitted single-family use.
- (N) A request for a secondary dwelling unit located within a City historic district that is accessory to an existing single-family use may be permitted pursuant to this section where there is no physical change to the exterior of a building or property.
- (O) A request for a secondary dwelling unit that is located within a City historic district that proposes exterior modifications to a building or property, such request shall comply with the requirements of City Code Sections [10-4-9](#) and [10-4-10](#).



Exhibit 13: ATTACHED SINGLE-FAMILY DWELLING UNITS are subject to the following development standards. Refer to Section [10-4-13](#) of the city's Zoning Ordinance for additional information.

The Planning Commission shall review each application for an attached single-family dwelling unit building permit under the procedures and development criteria of Section [10-4-9](#): Site Plan Review of City Code.

1. Maintenance Agreement Required for Various Forms of Attached Single-Family Dwellings: The applicant shall submit a copy of a maintenance agreement covering the eleven (11) items listed below. A maintenance agreement must be recorded prior to receiving the certificate of occupancy for any unit. Applicants should contact the lending institution of their choice to review the maintenance agreement proposed to be recorded. The items that must be mentioned in the maintenance agreement are as follows:
  - a. Purpose of the Agreement: Included in this area should be comments with reference to the protection of the value and desirability of the property. The conditions, covenants and restrictions of the agreement shall stay with the real property and will run with the land in perpetuity. Therefore, the agreement must be recorded.
  - b. The legal description of the property.
  - c. The maintenance agreement must define the scope of the maintenance, e.g. roof, foundation, walkways, parking areas, etc.
  - d. A provision must be included for insurance coverage with reference to the common area and the common improvements. The insured amount must be sufficient to cover the replacement value of the common area improvements and the common improvements.
  - e. Allocation of costs per unit (monthly, semi-annual or annual homeowners' dues)
  - f. Definition of method for notification of levying assessments and liens.
  - g. Lien foreclosure plan.
  - h. Mortgage protection clause.
  - i. A stipulation that no alterations to the exterior of the building can be made without approval of all owners.
  - j. No accumulation of garbage, rubbish or offensive material shall be permitted.
  - k. Define how a dispute will be settled in the event of a disagreement by the owners with reference to assessments, maintenance, etc.
2. Separate utility hook-ups are required for all attached single-family units.



Exhibit 14: All landscaping associated with projects subject to Site Plan Review is subject to the following COVENANT AND AGREEMENT FOR LANDSCAPING.

CITY OF PLACERVILLE  
COVENANT AND AGREEMENT FOR LANDSCAPING

Project No.: SPR

THIS AGREEMENT is made by \_\_\_\_\_, hereinafter referred to as "Property Owner" AND the City of Placerville, a Municipal Corporation of the State of California, hereinafter referred to as "City".

RECITALS

THIS AGREEMENT IS BASED UPON THE FOLLOWING FACTS:

1. Property owner is the owner of the real property in the City of Placerville (hereinafter called "City") described in Exhibit "A" attached hereto and made a part hereof by reference;
2. "Landscaping" is defined as: plantings, irrigation lines and improvements such as walls, fences and ornamental paving or other like site improvements;

"Landscaping Plan" is the City approved plan on landscaping;

3. On \_\_\_\_\_, the City granted Site Plan Review (SPR) \_\_\_\_\_ approval; in accordance with the Zoning Ordinance of the City of Placerville and by the terms of said grant property owner was required to install and maintain landscaping on the property described in Exhibit "A" in accordance with a landscape plan approved by the City on \_\_\_\_\_, a copy of which is on file in the Development Services Department and which is identified on Exhibit "A" and incorporated by reference herein as though set forth in full;
4. The undersigned recognize that the installation and maintenance of landscaping is an integral part of the property owner's plan for development of the property and complying with the approved conditions and landscaping conditions imposed by the City as a requirement of the development of the property will materially benefit the property.

NOW, THEREFORE, IN CONSIDERATION OF APPROVAL OF SAID PLAN AND ISSUANCE OF SITE PLAN REVIEW 2008-05, THE UNDERSIGNED AGREE AS FOLLOWS:

1. Purpose. The purpose of this agreement is to assure installation of the landscaping in accordance with the approved landscaping plan and, continued maintenance and care of the landscaping.
2. Duty to Maintain Landscaping. Property owner agree to diligently maintain and care for the landscaping which property owner shall install, using generally accepted methods for cultivation and watering. Property owner will maintain that standard of care necessary to prevent the landscaping from deteriorating. At a minimum, all vegetation shall be maintained weed free, free from physical damage or injury from lack of water, excess chemical fertilizer or other toxic chemical, blight or disease and such vegetation or those which show signs of such damage or injury at any time shall be replaced by the same, or approved similar or substitute vegetation of a size, form and character which will be comparably equal at full growth.



3. City May Maintain Landscaping. Property owner agree that if the property owner fail to meet the standard of maintenance necessary to keep the landscaping in a healthy condition as determined by the Development Services Director, the City may elect to take the steps necessary to assure that the landscaping is maintained and cared for. The cost thereof shall be paid by the undersigned and unpaid amounts shall be a lien upon the property described in Exhibit "A". To do this, the City shall serve notice of its intent to enter the premises for this purpose. The City shall either personally serve the notice upon the property owner or mail a copy of it to the property owner's last known address or as shown on tax rolls, at least 15 days in advance of the date when it intends to enter the premises. A single notice regarding regular maintenance is sufficient notice of regular entry for maintenance. For this purpose, the City may enter upon the property and perform such work as it considers reasonably necessary and proper to restore and maintain the landscaping.

The City may act either through its own employees or through a contractor.

4. Remedies. The City may bring legal action to enforce performance of the duties described herein or in the alternative may bring action to collect the sums due as the result of the making of expenditures for restoration and maintenance of landscaping. The property owner agrees that if legal action by the City is necessary, the property owner will pay the City's reasonable attorney's fees and Court costs, together with interest on any sums expended by the City for restoration and maintenance of landscaping from the date said sums are spent by the City.

5. Notices. Notices to the property owner shall be addressed to him at:

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6. Miscellaneous Terms and Provisions.

- (a) If any provision of this contract is adjudged invalid, the remaining provisions of it are not affected.
- (b) Notice to property owner shall be considered to have been given when sent to addresses stated above by certified or registered mail.
- (c) Property owner appoint the City as attorney-in-fact, to do all acts and things which the City considers necessary to restore or maintain said landscaping.
- (d) If there is more than one signer of this agreement, their obligations are joint and several.

7. Agreement Attached to Land. This Agreement shall bind the successors-in-interest of the parties hereto. This Agreement for Landscaping shall constitute a covenant, the burden of which shall run with the land and bind successive owners in the nature of a covenant running with the land and, therefore, the parties declare that such covenant is (a) for the benefit of the City (b) runs with the property, and (c) shall, except as specifically provided herein, be binding on each successive owner, during his ownership, or any portion of the property and upon each person having an interest in the property derived through any owner hereof. To the extent allowed by law, the covenant herein shall also be deemed a personal covenant of the property owner. Property owner agree to notify, or cause to be notified, the immediate successors-in-interest of the existence of this covenant and to that purpose this Agreement may be recorded. Property owner also agrees to notify, or cause to be notified, the City of Placerville within thirty (30) days of any change of title of the real property described in Exhibit "A", and, further, agrees to pay the City of Placerville any and all amounts falling due within the same period of time.



IN WITNESS WHEREOF, the undersigned have caused this agreement to be effective as of the last date written below.

City of Placerville

\_\_\_\_\_  
Staff

\_\_\_\_\_  
Date

Property Owner

\_\_\_\_\_  
Signed:

\_\_\_\_\_  
Date

Name (print) \_\_\_\_\_

Title (print) \_\_\_\_\_



**Exhibit 15: The following is the application review procedure for an AFFORDABLE HOUSING DENSITY BONUS request**

An Affordable Housing Density Bonus request application for a housing development is subject to Sections [10-12-1](#) to [10-12-14](#) of the Zoning Ordinance. This request must be processed concurrently with all other applications required for a building permit or discretionary permit required by the Zoning Ordinance (i.e., Site Plan Review, Conditional Use Permit, tentative parcel map, tentative subdivision map), along with applicable environmental documents set forth in the California Environmental Quality Act.

- (A) Action by the Development Services Department: The Department shall review the density bonus application for completeness and consistency with this Chapter, and for compatibility with the Placerville Airport Land Use Compatibility Plan (ALUCP), if the housing development is located within the ALUCP Influence Area. An application that is deemed complete by the Development Services Department shall be submitted to the Planning Commission for consideration.
  
- (B) Public Hearing before Planning Commission: At the time and place set for a public hearing before the Planning Commission, the Commission shall consider the density bonus application, recommendations of the Development Services Department, the appropriate environmental documentation, and any other information available. The Planning Commission shall then take one of the following actions:
  - 1. Recommend approval to the City Council;
  - 2. Refer the proposed application back to the developer with recommendations as to amending the application; or
  - 3. Recommend that City Council deny the request.

The Planning Commission's recommendation(s) shall be supported by substantial evidence in the record.

- (C) Action by City Council: At the time and place set for public hearing on the density bonus application, the City Council shall consider the recommendation of the Planning Commission, appropriate environmental documentation and public comments, and then take one of the following actions:
  - 1. Approve the housing development and adopt the proposed density bonus application; or
  - 2. Continue the public hearing to a date certain, referring the application back to the applicant with recommendations to amending said application; or
  - 3. Disapprove the application.

The City Council's action shall be supported by substantial evidence in the record.



## Appendix 'F' City of Placerville Parking Standards

The following minimum number of parking stalls shall be required (Zoning Ordinance Section 10-4-4(E) and (F)) to serve the uses or buildings listed:

1. Automotive Service Center: One space each five hundred (500) square feet maintenance area. One space each two hundred (200) square feet office/retail area.
2. Beauty shop, barbershop: two (2) for each operating chair.
3. Bowling establishment: eight (8) for each lane.
4. Eating or drinking establishment: one for each four (4) seats of maximum seating capacity.
5. Fast food eating and drinking establishments: one for each fifty (50) square feet of floor area, plus one space for every four (4) seats of maximum indoor and outdoor seating capacity, with a minimum of five (5) required.
6. General office, bank, studio, retail repair and service: one for each two hundred (200) square feet of floor area, measured to the nearest two hundred (200) square feet.
7. Hospitals: one and one-half (1 1/2) for each bed.
8. Medical office: one space each one hundred fifty (150) square feet of floor area.
9. Miniature golf course: two (2) for each hole.
10. Multiple uses: shall be the sum of the requirements for each individual use.
11. Packing, manufacturing, processing service or research facilities: one parking space per five hundred (500) square feet of gross floor area or one space per employee of maximum working shift, whichever is the greater of the two (2).
12. Place of assembly or worship, mortuary: one for each four (4) seats of maximum seating capacity.
13. Pool and billiard tables, golf driving ranges, pinball machines and other indoor recreational uses: two (2) for each recreational unit, such as a table, range or machine or court, or one space for each one hundred (100) square feet of floor area measured to the nearest one hundred (100) square feet whichever is less of the two (2).
14. Rest homes, sanitariums, and convalescent hospitals: one space for each three (3) employees and one space for each three (3) beds.
15. Retail furniture, appliance stores and similar uses: one parking space per each two hundred fifty (250) square feet of gross floor area, measured to the nearest two hundred fifty (250) square feet.
16. Retail sales: one for each two hundred (200) square feet of floor area, measured to the nearest two hundred feet (200').
17. Rooming or boarding house, motel, hotel: one for each rental unit.



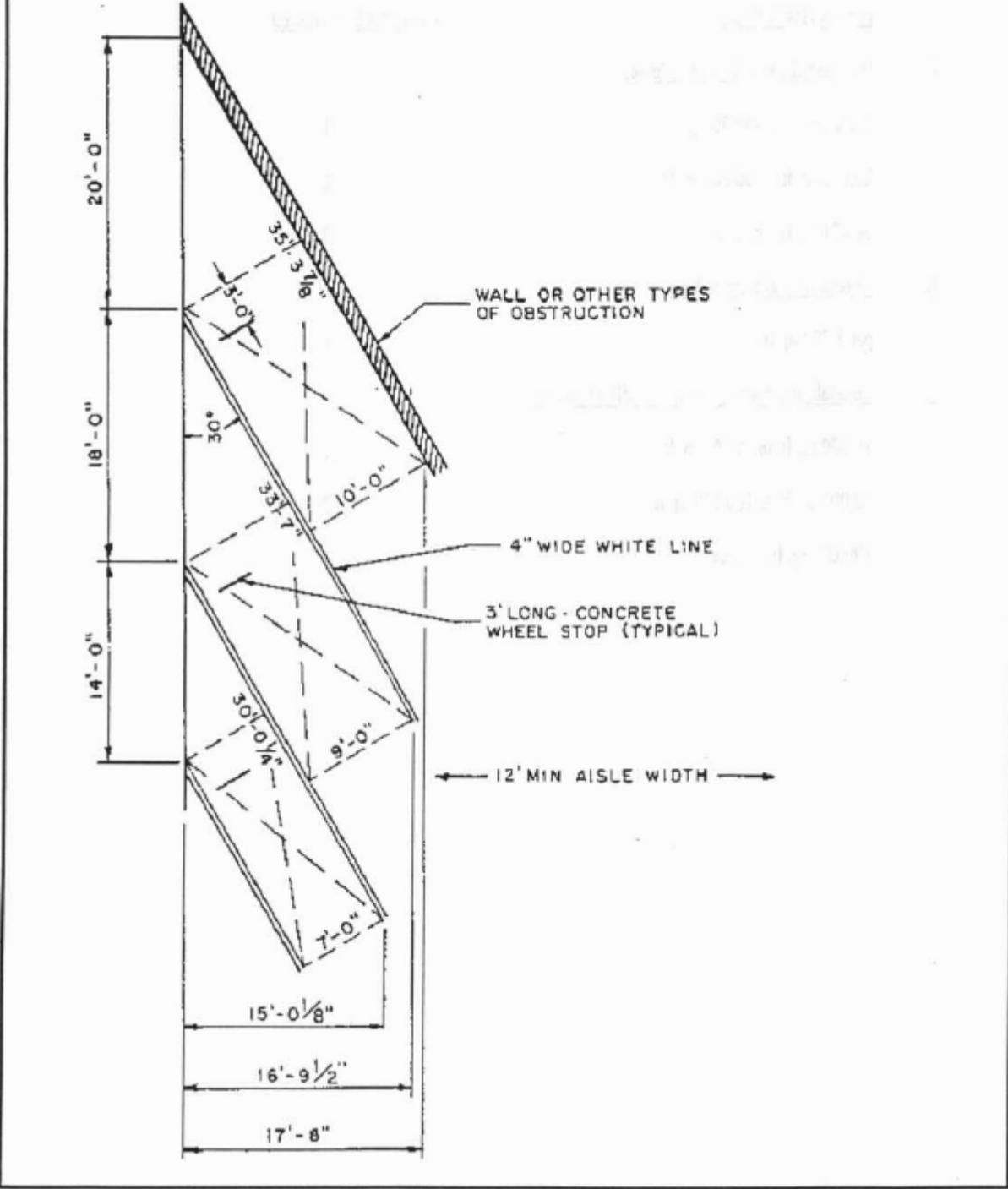
18. Schools:
- (a) Nursery schools: one space for every five hundred (500) square feet.
  - (b) Elementary schools: two (2) spaces for each classroom.
  - (c) High schools: seven (7) spaces for each classroom.
  - (d) Colleges: fifteen (15) spaces each classroom.
19. Shopping centers: one space for each two hundred (200) square feet of floor space. A "shopping center", for the purpose of this Section, is defined as an area upon which there are situated multiple retail or service type business enterprises in which the total floor space is at least twenty thousand (20,000) square feet.
- Fast food restaurants shall not be considered part of a shopping center and shall provide parking at a ratio as specified under fast foods of this Section.
20. Single-family residence: two (2) spaces; multi-family: one and one half (1.5) spaces per dwelling unit. (Ord. 1627, 9 Sep 2008)
21. Wholesale or bulk storage: one parking space per one thousand five hundred (1,500) square feet of gross floor area or one for each employee of maximum working shift, whichever is the greater of the two (2).
22. Single-Room Occupancy Facility: One stall per three (3) single-room occupancy units, plus one additional stall if on-site management office is required per subsection (F) of this Section. (Ord. 1664, 23 Sept 2014)
23. Employee Housing-Large: On-site parking shall be provided according to the following schedule. For group quarter facilities, a minimum of one (1) parking space for every three (3) authorized beds. For individual unit facilities, a minimum of two (2) parking spaces shall be provided for each unit or space. (Ord. 1667, 28 Oct 2014)
24. Employee Housing-Small: Two (2) spaces. (Ord. 1667, 28 Oct 2014)

(F) Loading Berth: Loading berths shall be provided, in addition to parking stalls, as follows:

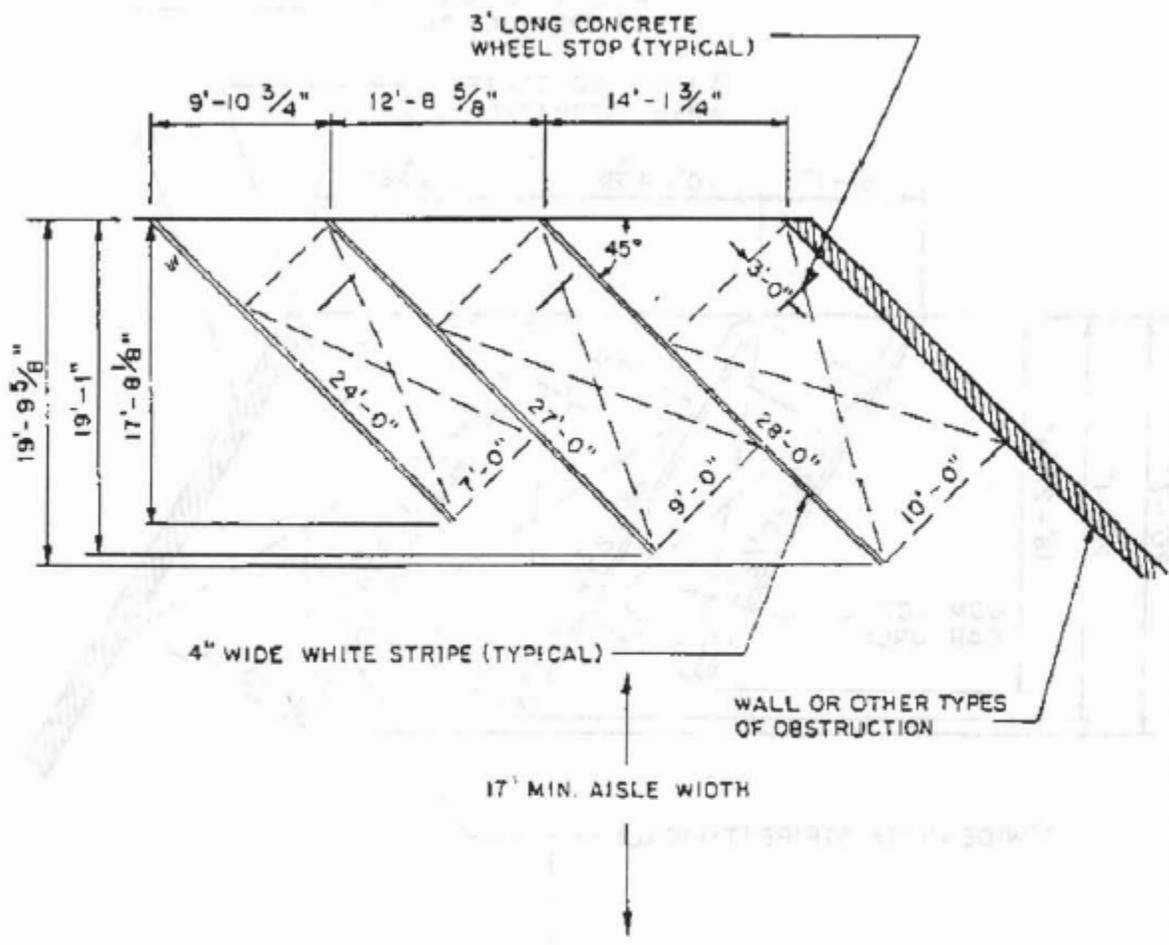
	TOTAL SQUARE FOOTAGE OF BUILDING <u>(Gross Floor Area)</u>	SPACE LOADING SPACES <u>REQUIRED</u>
1.	Commercial and industrial buildings	
	3,000 to 20,000	1
	20,001 to 50,000	2
	50,001 and over	3
2.	Warehouse and storage areas, each 7,000	1
3.	Hospitals, institutions, hotels and office buildings	
	10,000 to 50,000	1
	50,001 to 100,000	2
	100,001 and over	3



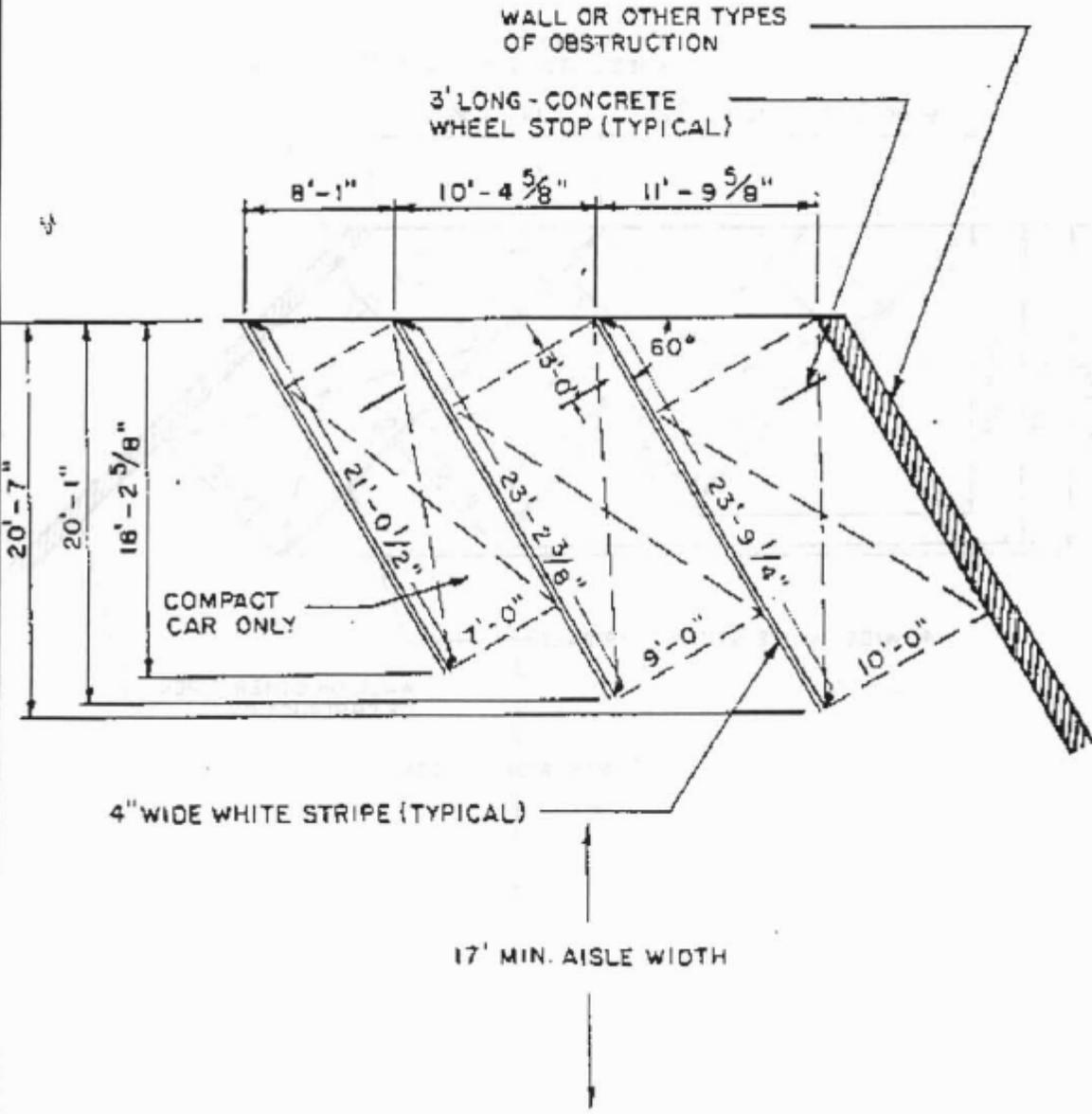
# 30° PARKING STANDARD



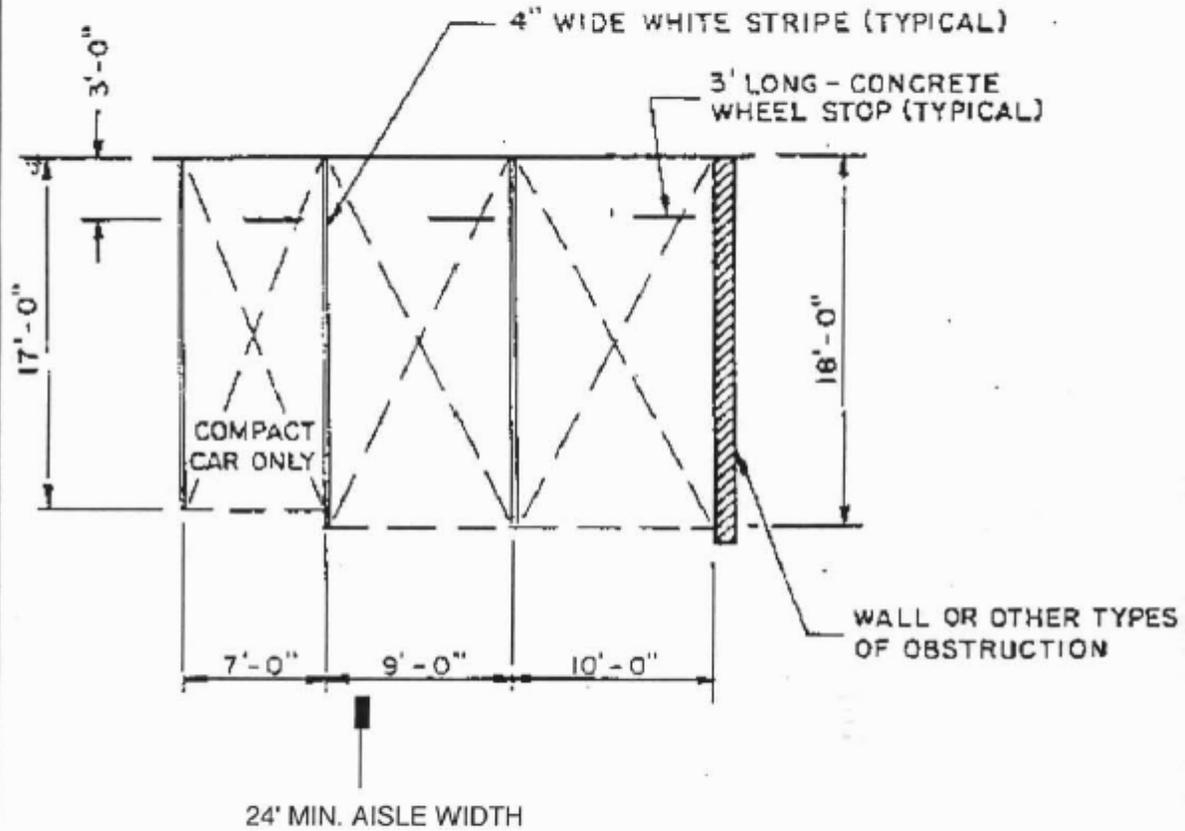
# 45° PARKING STANDARD



# 60° PARKING STANDARD



# 90° PARKING STANDARD





City of Placerville  
 Development Services  
 Planning Division  
 3101 Center Street  
 Placerville, CA, 95667  
 Phone (530)642-5252  
 Fax (530) 295-2510

City of Placerville

# Low Impact Development in Placerville: Bioswales & Bioretention Facilities

Low Impact Development (LID) is an approach to stormwater management modeled after nature. LID methods, such as bioswales, rain gardens, and bioretention facilities can improve water quality, reduce flood risks, and conserve water resources while meeting development standards in an economical sustainable way.

## Benefits of LID Stormwater Management

- Improves the water quality of streams, creeks, and rivers
- Reduces flood risk by reducing flow volume
- Recharges groundwater resources
- Cost Effective compared to conventional stormwater technology
- Aesthetically pleasing while environmentally friendly

### What are bioswales and bioretention facilities?

Bioswales and bioretention facilities are landscaped areas designed to capture stormwater and slowly filter out pollutants before the water reaches streams, creeks, and rivers. Using specific native plants and soil, the landscaped area can mimic the natural water cycle, storing water temporarily in gentle depressions as the biotic environment absorbs pollutants.



### Where can we use bioswales and bioretention facilities?

Bioswales, rain gardens and bioretention facilities can be used in public, residential, and

commercial development and redevelopment. Medians, parking lot islands, ditches, and home lawns are cost-effective and aesthetically pleasing ways to incorporate these

methods into the existing landscape.

## Bioswales

Bioswales work to filter and slowly convey stormwater to a drainage system, similar to a dry stream channel. These are typically located along a road or highway in place of a drainage ditch or pipe. Swales

should be at least 100 feet in length with 0.5-2.5 percent slope to provide enough time for pollutant removal. Increasing the length and adding check dams or rocks will further slow the water flow rate.

Bioswales can be easily included with existing drainage systems.



## LID in Placerville: Bioswales, Rain Gardens, and Bioretention Facilities

### Operations and Maintenance

#### Regular

- ✓ Inspect for signs of erosion or obstructions
- ✓ Remove any weeds or invasive plants
- ✓ Remove trash and debris that could clog the drain
- ✓ Check facility 48 hours after a rain to make sure there is no standing water

#### Seasonal

- ✓ Replenish mulch to a depth of 3 inches
- ✓ Seasonally irrigate to ensure plant survival during dry months

#### Avoid

- ✓ Using any salt, fertilizer, or pesticide in these facilities
- ✓ Storing leaves or snow in facilities

### Does LID Work?

The University of Wisconsin, Madison, found these pollutant removal rates in the study "Design Guidelines for Stormwater Bioretention Facilities."

Pollutant	Removal
Total Phosphorous	80%
Metals	>90%
Total Kjeldalh nitrogen	65-75%
Total Suspended Solids	90%
Ammonium	60-80%
Organics	90%
Bacteria	90%

Works Referenced: 1. "Low Impact Development in Northern Nevada: Bioretention" University of Nevada Cooperative Extension, 2. "Design Guidelines for Stormwater Bioretention Facilities" University of Wisconsin, Madison 3. "CASQA Technical Assistance Memo" California Stormwater Quality Association

### Bioretention Facilities

Bioretention facilities are any depressed landscape feature filled with porous soil and covered with a thin layer of mulch. These facilities are designed to store water for a short period of time to remove pollutants, rather than convey water like bioswales.

#### Rain Gardens

Rain gardens are the most common design for incorporating LID

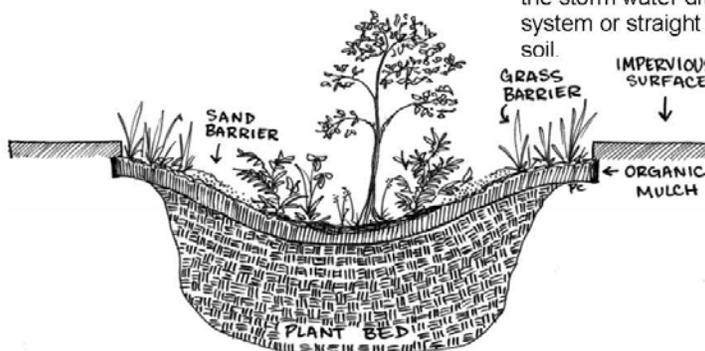
stormwater management into residential and commercial landscaping. The garden is lowered below the impervious surfaces so water can enter into the bed and infiltrate the soil. Rain gardens need to be appropriately designed to drain quickly and avoid erosion. Consider including an "overflow" area, such as a storm drain, in case the storm water volume exceeds

what the rain garden can hold.

#### Mini-bioretention Facilities: Tree Filters

One option easily integrated into urban streets is filters in tree planter boxes. This can both capture runoff and irrigate the

tree. The water would enter the box, infiltrate the soil and filter media, and then exit into an underdrain connected to the storm water drainage system or straight into the soil.



### Design

Bioretention facilities and bioswales share the same basic features. A grass buffer slows down the velocity of the runoff followed by a sand buffer spreads flow over the filtration area. Infiltration occurs in the planting soil that sits in an 18 inch sand bed. This will create the ponding area where water will be stored or conveyed. In the soil bed

should be a 3 inch layer of mulch or organic material that will filter pollutants and provide habitat to microorganisms.

Plant species planted in the bioswale or bioretention facility should be native, drought-tolerant, low maintenance, and should not require any fertilizer.

Recommended Plant

Species within the ponding area:

California Wild Rose  
*Rose californica*

California Meadow Sedge  
*Carex pansa*

Outside of ponding area:

Common Yarrow  
*Achillea millefolium*



## City of Placerville



City of Placerville  
Development Services  
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### *Benefits of LID Stormwater Management*

- Improves the water quality of streams, creeks, and rivers
- Reduces flood risk by reducing flow volume
- Recharges groundwater resources
- Cost Effective compared to conventional stormwater technology
- Aesthetically pleasing while environmentally friendly

## Low Impact Development in Placerville: Rain Water Harvesting

Low Impact Development (LID) is an approach to stormwater management modeled after nature. Rain water harvesting is a LID practice that dates back to ancient times that uses stormwater runoff as a water resource. Evidence of rain water harvesting methods, such as cisterns and rain barrels, have been found in many ancient civilizations across the world and can be used still today to improve water quality and conserve water resources.

**What is rain water harvesting?** Rain water harvesting is the practices of diverting and capturing rain water to store for later use. Using cisterns and rain barrels, the stored rain water could be used in dry months to irrigate gardens and landscaped areas, wash cars, even flush toilets. Rain water is a high quality and free source of water that could be easily implemented into stormwater systems.

**Why do it?** About 600 gallons of water can be collected from one inch of rain falling on a 1,000 square foot roof. The City of Placerville receives an average of 38.75 inches



of rain annually. This allows for a substantial water resource available during dry months of the year. Residential, commercial, and industrial areas have the capacity to use rain water as a watering option.

These can be simple systems with a rain barrel, or more complex systems with a cistern, but all provide an opportunity to tap into an under used resource.

### Rain Barrels

Rain barrels are a simple rain water collection system, and are readily available for homeowners and developers to install. Most rain barrels are about 55 gallons, but can range in size. Water

runoff from the roof will pour from the down spout into a hole at the top of the rain barrel with a screen over it. An attached spigot a few inches from bottom will avoid settled debris and can connect to hose, drip

line, or other system. The stored rain water is not potable, and cannot be used for drinking water.



## LID in Placerville: Rain Water Harvesting

### Maintenance and Operations

#### Installation

- ✓ Install gutter guards to prevent leaves and other large debris from entering facility

#### Regular

- ✓ Check for leaks, which should be fixed promptly
- ✓ Check that filters are free of debris
- ✓ Check for erosion around base of facility and overflow outlet

#### Seasonal

- ✓ Do not store water from the first rain of the season. Allow it pass through and wash out the built up pollutants from the dry months.
- ✓ Clean gutters of leaves and debris
- ✓ Apply heat tape or insulation to protect against winter freezing

### More Information

For more information on design, maintenance, and benefits of rain water harvesting, please visit these sites.

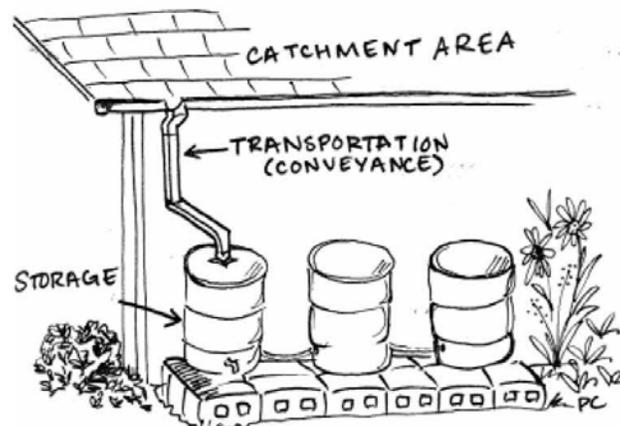
- "Low Impact Development in Northern Nevada: Rain Water Harvesting" <http://www.unce.unr.edu/publications/files/nr/2009/fs0924.pdf>
- City of San Diego rain water Harvesting Guide <http://www.hwd.com/conservation/rainwater-facts.pdf>
- Texas A&M AgriExtension: Rain Water Harvesting <http://rainwaterharvesting.tamu.edu/>

### Cisterns

Cisterns are a much larger storage facility than rain barrels, and have the capacity to be much more complex. Cisterns are often located both above and underground. Plans for a below ground cistern should be taken to the Building Division to determine if a permit is required.

Cisterns must be water tight, and are generally made of plastic, metal or concrete. The size and

volume of the cistern is determined by the roof collection area and how much water you intend to store. Regardless, all cisterns should keep a size ratio that is larger wide than tall.



### Design

Rain water harvesting is only recommended for roofs made out of tiles, plastic, or metal sheets. Rain water runoff from asphalt roofs leaches heavy metals, such as zinc and lead. Rain water harvested from asphalt roofs should not be used for vegetable and herb gardens, but should not affect plant health in ornamental gardens.

Rain water harvesting, whether through rain barrels or cisterns, is composed of the same components: a catchment, conveyance, and storage. Catchment is the surface where rain water is collected, generally a roof. Conveyance is the transportation, usually a gutter and downspout, to the storage container. Storage is the rain barrel or cistern.

Storage containers should have a way to handle overflow in the case of a big rain. Cistern systems may also include a pump and treatment components.

Rain barrels and above ground cisterns should sit on a flat, sturdy surface. Cinder blocks are a common platform for rain barrels.

Works Referenced: 1. "Low Impact Development in Northern Nevada: Rain Water Harvesting" University of Nevada Cooperative Extension.  
2. "Rain Water Harvesting Guide" City of San Diego  
3. "Rain Water Harvesting" Texas A&M AgriExtension

Prepared for the City of Placerville by Allison Holmstedt, University of California, Davis  
Design Schematic provided by Paris Coyne



## City of Placerville



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### *Benefits of LID Stormwater Management*

- Improves the water quality of streams, creeks, and rivers
- Reduces flood risk by reducing flow volume
- Recharges groundwater resources
- Cost Effective compared to conventional stormwater technology
- Aesthetically pleasing while environmentally friendly

## Low Impact Development in Placerville: Vegetated Roofs

**Low Impact Development (LID) is an approach to stormwater management modeled after nature. Vegetated roofs is an LID practice that not only works to conserve and manage water resources, but also provides ways to be more energy efficient, serves as wildlife habitat, and can improve air quality.**

**What are vegetated roofs?** Vegetated roofs, also known as green roofs, eco-roofs, or living roofs, can provide many benefits beyond storm water management. Vegetated roofs are, in many cases, much less costly than conventional roofs in the long run. There are two kinds of vegetated roof, **extensive** and **intensive**, which vary in types of soil and plants, public access, and maintenance.

#### **Where can vegetated roofs be used?**

Vegetated roofs can be easily constructed on residential, commercial, and industrial roofs. It is even possible to retrofit existing conventional roofs. They are particularly useful in



urban areas that create a "heat island effect," or a climate in the urban area that is slightly warmer due to heat absorbed from conventional roofs and other impervious surfaces. Vegetated roofs can cool

the air through natural processes, while also reducing smog and sequestering carbon dioxide.

### **Extensive Vegetated Roofs: A Low Maintenance Option**

Extensive vegetated roofs generally are a lighter, more low-maintenance approach. The growth medium will not be more than 6 inches deep, and is planted with native, drought-tolerant plants,

but no trees. These plants should require little maintenance and irrigation after plant establishment. There is generally limited public access to extensive vegetated roofs. This is the recommended option

for vegetated roofs in Placerville.

Any plans for an extensive roof should be brought to the Building Division for guidance and to check for permit requirements.



## LID in Placerville: Rain Water Harvesting

### Operations and Maintenance

#### Regular

- ✓ Check for leaks and proper drainage, which should be fixed promptly
- ✓ Clear drainage pipes and system components of collected debris
- ✓ Remove or mow dead plant material

#### Seasonal

- ✓ Adjust irrigation for plants as needed throughout the year
- ✓ Add mulch or soil

### More Information

For more information on design, maintenance, and benefits of rain water harvesting, please visit these sites.

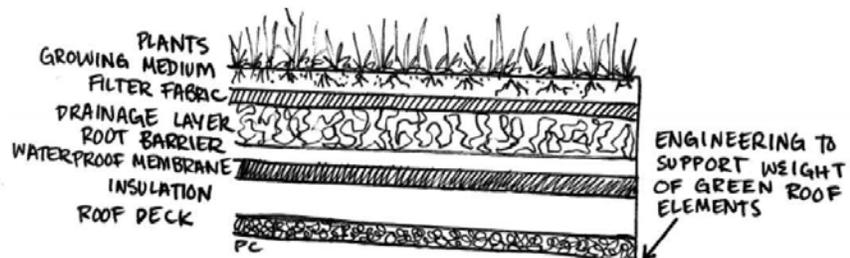
- "Low Impact Development in Northern Nevada: Green Roofs"  
<http://www.unce.unr.edu/publications/files/nr/2009/fs0927.pdf>
- University of Delaware Cooperative Extension: Green Roofs  
<http://extension.udel.edu/factsheet/green-roofs/>

### Intensive Vegetated Roofs: An Interactive Option

Intensive vegetated roofs offer a way to make the vegetation an asset to the building. These are designed to work concurrently as a useful public place. The vegetated roof could be an outdoor garden or a more developed wildlife habitat with walking paths. Some intensive vegetated roofs have the capacity to hold small trees. This requires more structural

reinforcement in the roof, as well as more maintenance and irrigation. Native plants that are drought-tolerant are also recommended for intensive vegetated roofs.

Plans for intensive vegetated roofs should be submitted to the Building Division for guidance and to check for permit requirements.



### Design

Both extensive and intensive vegetated roofs require similar components to function properly. The most important of which is the waterproof membrane that separates the roof deck from the soil bed that has absorbed the rain water. Above the waterproof membrane, there are the plants, a growth medium (mulch and soil), a filter

fabric, a drainage layer, and a root barrier.

Vegetated roofs are most successful on flat roofs or roofs with a slight slope. Roofs with a steeper slope can be vegetated, but require additional measures to prevent erosion.

Any plans for vegetated roofs, whether to retrofit an existing roof or as part

of a new building design should be conducted by a professional engineer to make sure the roof can withstand the vegetation.

Works Referenced: 1. "Low Impact Development in Northern Nevada: Green Roofs" University of Nevada Cooperative Extension,  
2. "Green Roofs" University of Delaware Cooperative Extension  
3. "CASQA Technical Assistance Memo" California Stormwater Quality Association





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## City of Placerville

# Low Impact Development in Placerville: Porous Pavement

**Low Impact Development (LID) is an approach to stormwater management modeled after nature. Where pavement generally creates an impervious surface that restricts storm water infiltration, porous pavements permit stormwater to penetrate the surface, allowing for ground water recharge and reduced flooding risk.**

**What is porous pavement?** is an LID option that is a compromise between hardscape and stormwater management: it can withstand the weight and intensity of vehicle and foot traffic, while also allowing for aspects of the water cycle to take place. Porous pavement has voids where water can permeate and drain into the ground below.

**Where can we use it?** Porous pavements are available in many different forms, including asphalt, concrete, and gravel pavers, among others. Therefore, porous pavement can be widely utilized as an alternative hardscape. While many porous pavement options



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are more expensive than conventional pavements, this can be offset by reduced costs in traditional stormwater management materials. Additionally, porous pavement has a longer lifespan than impervious pavements, and can last for more than 20 years.

One of the biggest hurdles to using porous pavement

options is municipal code and development guides that require impervious materials. However, the City of Placerville has embraced LID and incorporated many of the standards into the City's Development Guide, encouraging the use of porous pavement and many other LID options.

## Cold Climates

Researchers studying the potential of porous pavements as an impervious surface substitute have concerns about the success of porous pavement in cold climates. New studies put forth by the Stormwater Center of

University of New Hampshire have found that, if installed and maintained properly, porous pavement performs better than impervious surfaces due to reduced freeze-thaw susceptibility. Further studies by the

Stormwater Center of University of New Hampshire found porous pavement reduces the risk of accidents due to black ice and requires less de-icing maintenance.



## LID in Placerville: Porous Pavement

### Operations and Maintenance

#### Regular

- ✓ Sweep porous pavement streets along with other pavement streets
- ✓ Suppress weeds in cracks and voids of porous streets
- ✓ Check for flooding or depressions

#### Annually

- ✓ Vacuum porous pavements with a street sweeper with suction.

#### Avoid

- ✓ Using pesticides on weeds or plants that grow in voids

### Resources and More Information

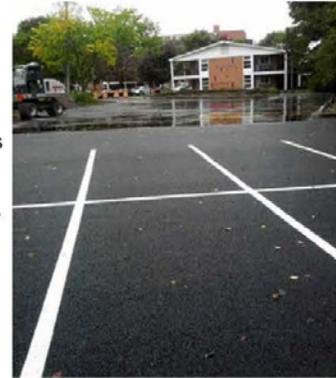
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- "Low Impact Development in Northern Nevada: Porous Pavement" <http://www.unce.unr.edu/publications/files/nr/2009/fs0927.pdf>
- Stormwater Center, University of New Hampshire <http://www.unh.edu/unhsc/sites/unh.edu.unhsc/files/presentations/Porous%20Pavement%20in%20Cold%20Climates%20Part%20a.pdf>

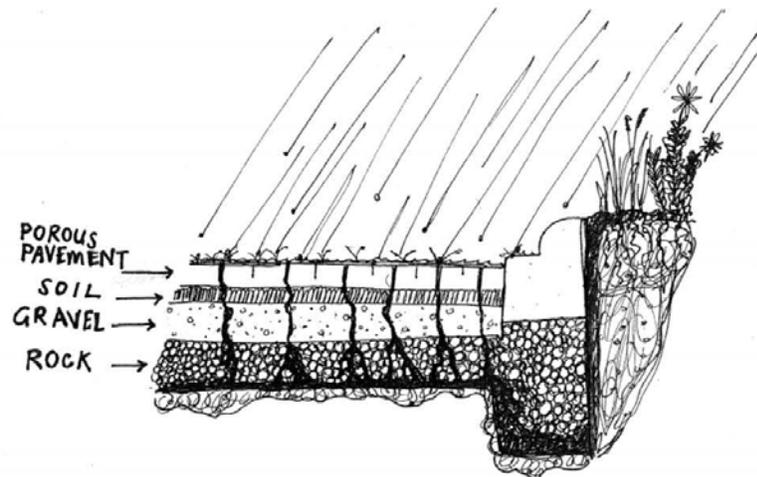
### Pervious Concrete and Porous Asphalt: Common Options for Traditional Pavement

These materials look very similar to impervious concrete and asphalt and can easily replace concrete and asphalt in areas of light to medium traffic. Pervious concrete and porous asphalt have reduced amounts of finer material than the impervious forms, which create spaces for water to infiltrate and reach layers below. This gives an opportunity for underground layers of soil

and gravel to filter the stormwater from the road. When installed properly, these materials drain stormwater rapidly from the road surface. Pervious concrete and porous asphalt also maintain public safety standards by providing a sturdy even surface accessible to all individuals and reducing the risk ice- and flood-related accidents.



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### Design

Porous pavement is most successful for surfaces that receive low to medium traffic and that are relatively flat (no more than 5% slope). Surfaces above a seasonally high water table are not recommended for porous pavement. Porous pavement should only ever be installed by an experienced contractor.

All porous pavement options utilize a series of layers of soil, gravel, and rock that stormwater infiltrates. The layers help to slow the velocity of the flow, remove pollutants, and store stormwater for around 24 hours before the water is released into a drainage system or into the native soil below.

Surfaces below porous

pavement must be made even to avoid uneven settling of the pavement, which could become unsafe for pedestrians and other users.

When installed and maintained correctly, porous pavement can improve stormwater quality, reduce flood risk, and provide a long term economic option for hard surfaces.

Works Referenced: 1. "Low Impact Development in Northern Nevada: Porous Pavement" University of Nevada Cooperative Extension, 2. "Porous Pavements in Cold Climates: Performance and Cost" Stormwater Center, University of New Hampshire 3. "CASQA Technical Assistance Memo" California Stormwater Quality Association

