



"Placerville, a Unique Historical Past Forging into a Golden Future"

Planning Commission Staff Report

Meeting Date: October 19, 2021

Prepared By: Andrew Painter, City Planner

APPLICATION: 2849 Ray Lawyer Drive: CUP21-02; SPR79-20-R; and CUP05-07:
Verizon Wireless

REQUEST: Consider the following requests by Verizon Wireless associated with the Discovery Plaza shopping center located at 2849 Ray Lawyer Drive (APN 325-120-077), near the northeast corner of Placerville Drive and Ray Lawyer Drive:

- a. Abandon CUP05-07 authorized in 2005 to make it null and void of the existing wireless telecommunications facility consisting of a screen enclosure with fully concealed antennas located on the roof of the existing Discovery Plaza commercial building with associated equipment cabinets located within a room inside the commercial building;
- b. Approval of CUP21-02, a request to approve a conditional use permit for an unmanned telecommunication facility use to capture the telecommunications facility approved under CUP05-07, and approval of SPR79-20-R, a request for Major Change to the approved Site Plan Review Permit 79-20 for Discovery Plaza involving the following facility modifications proposed on the roof of the Discovery Plaza shopping center:
 - Removal of three (3) existing panel antennas within existing Fiber Reinforced Plastic (FRP) screen enclosure;
 - Removal of one (1) existing 6201 Cabinet w/ twelve (12) radio units;
 - Installation of two (2) FRP screen enclosures;
 - Installation of six (6) panel antennas (two (2) within existing enclosure @ two (2) each on the two new enclosures);
 - Installation of six (6) remote radio units (two (2) within existing enclosure @ two (2) each on the two new enclosures);
 - Installation of four (4) raycaps (three (3) @ antenna locations & one (1) @ equipment location)

Existing antennas are mounted at a tip height of 30'-1" and the proposed tip height of the antennas will increase by 3'-9" to 33'-10". The existing and new screen enclosures will increase the overall facility heights 1'-10" from 32'-6" to 34'-4". The existing equipment area located within the building will remain unchanged.

Applicant/representative: Benjamin Koff, Sequoia Development Services, Inc., for Verizon Wireless; Edendale Discovery Plaza, LLC, property owner.

PROJECT SITE INFORMATION: The approximately 3.9-acre site contains the Discovery Plaza shopping center, 2849 Ray Lawyer Drive, located near the northeast corner of the intersection of Ray Lawyer Drive and Placerville Drive. The Assessor’s Parcel Number is 325-120-077. See Figures 1 and 2.

**Figure 1. Project Location:
2849 Ray Lawyer Drive**

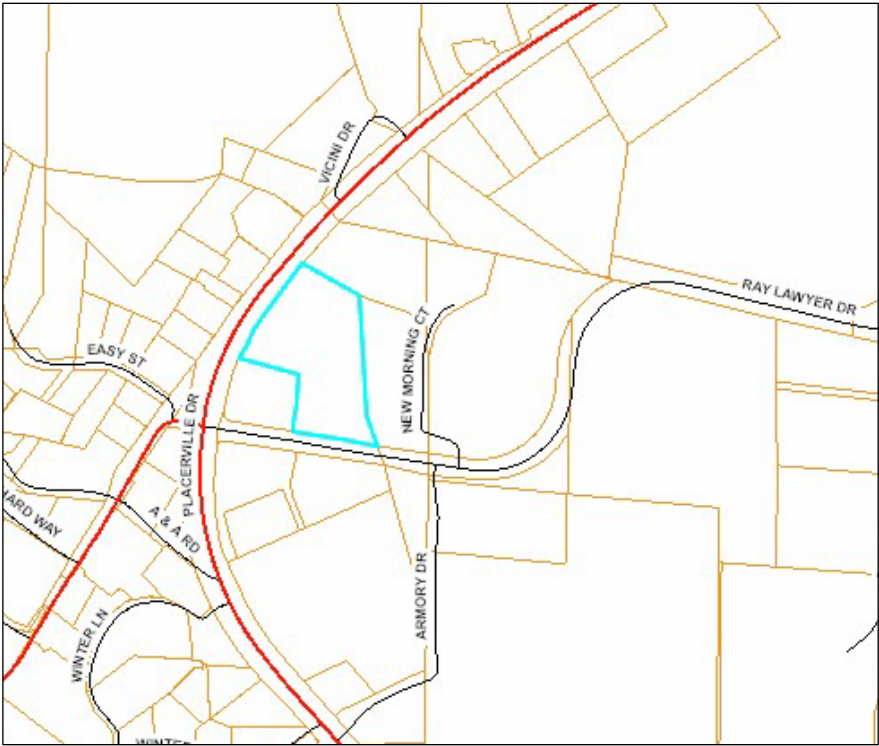


Figure 2. Discovery Plaza



General Plan: Commercial (C)

Zoning: Commercial (C)

Background and Previous Actions

The site is within the existing Discovery Shopping Center that was approved and built in the early 1980s under SPR79-20. The approved Site Plan Review included parking, landscaping and signage for the site. The applicant occupies a sales office within the Center that is immediately adjacent to Ray Lawyer Drive. Other businesses within the Discovery Shopping Center include Mountain Democrat, Riebe’s Auto Parts, Verizon Wireless, Danette’s Brick Oven Pub, Hong Kong Inn and State Farm.

In 2005, Verizon Wireless received Planning Commission approval of CUP05-07 that authorized the installation and use operation of a wireless telephone communication facility on the site. Improvements included a tripod support base structure on the roof of the existing Discovery Plaza building on which six panel antennas are mounted, and a backup emergency generator located within a masonry enclosure located along the buildings east elevation. The support structure and antennas are screened with an enclosure using materials and colors to match those used within the shopping center, as the support structure extends above the roof parapet. Overall height of communication structure and building is 32’ 6”. The maximum structure height allowed within the Commercial Zone is 40’. The Applicant Submittal Package contains photo images showing the existing facility screen enclosure that is visible from Ray Lawyer Drive along with a rooftop of the screen enclosure and associated roof equipment. The existing communication structure is directly above the Verizon Wireless store that is located at the southerly end of the Discovery Plaza center.

Surrounding Uses

	General Plan	Zoning	Current Land Use
On-Site:	Commercial	C	Commercial service, retail and restaurant
North:	Commercial	C	Commercial retail
South:	Commercial	C	Financial services, commercial service and retail
East:	Commercial	C	Vacant commercial, New Morning Youth Shelter
West:	Commercial	C	Financial services, Commercial service and retail, restaurant

DECISION MAKING AUTHORITY: Per Placerville Zoning Code (PZC) 10-3-1(C) and 10-3-6, the Planning Commission is the decision-maker for conditional use permits and site plans.

PUBLIC NOTICE

Written notice for this public hearing was mailed to property owners within three hundred feet (300’) of the project site, posted at Placerville City Hall, as well as the City’s website (cityofplacerville.org), and published in the Mountain Democrat. No public comments were received as of the date of this report.

PROJECT ANALYSIS

Environmental Review: This project qualifies as a Class 3 categorical exemption pursuant to Guideline 15301(e) of the California Environmental Quality Act (Existing Facilities), in that the request would involve a negligible expansion of an existing wireless telecommunication facility that will not result in an increase in 50% of the floor area of the existing center.

General Plan Consistency: The Placerville General Plan Land Use map indicates that the Land Use Designation for the site is Commercial (C). Purposes of the C designation include providing retail sales and service uses, entertainment and other light commercial activities. Commercial uses and services are allowable uses within the C designation.

Land Use Goal C:

To protect and provide for the expansion of Placerville's commercial services sector to meet the needs of both Placerville area residents and visitors.

Staff Analysis: As the request would modify an existing wireless communication use, including modifications to existing equipment affixed to the existing commercial center, along with additional equipment as described and indicated in the Applicant Submittal Package (Attachment 2), changes to the site will not affect the operation of the existing onsite commercial retail use, but would enhance and improve the telecommunication service provider's commercial service for those who live, work or visit this portion of Placerville. Request is consistent with the Commercial Land Use Designation.

Health and Safety: United States Code Section 332(c)(7) (B) (iv) provides that "[n]o State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the [Federal Communication Commission's] regulations concerning such emissions." In other words, assuming that a wireless service tower operates within Federal Communication Commission (FCC) radio frequency regulations, Federal law prohibits a local government from regulating wireless facilities based on radio frequency environmental impacts.

The applicant has provided the document, Radio Frequency Electromagnetic Fields Exposure Report, PRE-Activation, September 7, 2021, prepared by Christopher Stollar, P.E., Dteck Communications, hereinafter described as the "Document," for the 2849 Ray Lawyer Drive site and project request. Section 4.0 Conclusion of the Document contains the following information by the preparer describing roof level and ground level Electromagnetic Fields ("EMF") exposure from the facility equipment:

4.1 Results

For a person standing in accessible areas on the ground and lower interior, calculations for Verizon's site resulted in exposure levels below the FCC's most stringent General Population MPE Limits (see figure 1-2).

For a person standing on the roof, the highest calculated exposure level is above the FCC's General Population MPE Limits near the Verizon antennas (see figure 3).

There may be situations where workers i.e. window washers, painters, roofers, etc., may find themselves directly in front of the antennas. Individuals entering the site or working near/in front of antennas must receive appropriate RF safety training and be made aware of the HotZones (areas where RF exposure may potentially exceed FCC safety limits). In addition, contact information should be made available in the event work is required within the HotZones. Alternative, if the need occurs for any building maintenance personnel to work directly in front of the antennas, Verizon should be contacted to arrange for the power to be shut down during the work period.

4.2 Recommendation(s)

The following compliance action(s) would be sufficient to meet the FCC's and Verizon's RF Safety Guidelines² (see figure 4):

- 1) Access to the roof(s) should be restricted to RF trained personnel only and should be controlled to prevent unauthorized routine access by the general public.*
- 2) Install barriers³ and/or indicative markings with RF advisory signs according to the Recommendation diagram.*
- 3) Apply RF safety program. Proper notification and contact information must be provided to the building's landlord or property owner. This will help ensure that a regional point of contact or the NOC will be contacted when someone in the public needs to perform maintenance in areas of potential concern.*

4.3 Statement of Compliance

Based on the above results, analysis and recommendation(s), it is the undersigned's professional opinion that Verizon's site will be compliant with the FCC's RF Safety Guidelines provided recommendation(s) are implemented.

4.3 Engineer Certification

This report has been prepared by or under the direction of the following Registered Professional Engineer: Darang Tech, holding California registration number 16000. I have reviewed this report and believe it to be both true and accurate to the best of my knowledge.

² REGCOM-RCG-NP-15-0003 – RF Compliance Signage and Demarcation Policy

³ Barrier(s) must be built according to OSHA unprotected roof edge standards. If a physical barrier i.e. stanchions with rope/chains is implemented (as opposed to indicative markings such as paint boundaries or striping), then unanchored objects i.e. stanchions must be placed no closer than 6 feet from an unprotected roof edge where the parapet height is lower than 36 inches.

Staff Analysis: The Document concludes that there are no areas at ground level related to the proposed antennas that exceed FCC general public exposure limits. Also, due to the limited access to the roof due to the nature of the commercial building, with existing fixed ladder with ladder guard located along the rear of the building, there are existing limitations in place to restrict access to the roof. However, staff agrees and recommends project conditions that

would implement the signage and compliance plan described in Section 4.2, Figure 4;. Recommendation Diagram, and Appendix D: Sample Verizon RF Advisory Signs of the Document, that would provide warning and caution to workers doing building maintenance activities on the roof. Due to the small print used in Figure 4, staff has requested from the applicant representative that this information be enlarged for Planning Commission review at the public hearing.

Zoning Classification and Regulations Consistency

Zone Classification

The project site is located within the Commercial (C) zoning district (City Code 10-5-15). This zoning district was established to allow for retail sales and services, entertainment and other light commercial activities to serve the residents of the community, planned in areas properly located in relation to access, topography and residential areas.

Conditional Use Permit (City Code 10-3-4)

Telephone transmission and broadcasting facilities are permitted within any zone with a Conditional Use Permit. A conditional use permit request follows the procedure set under Section 10-3-6: Conditional Use Permit Procedure. The project request (Conditional Use Permit 21-02) initiated the conditional use permit process and is the subject of this staff report.

Conditional uses within the City may be permitted where indicated in the Zoning Ordinance, where it can be shown that the uses are deemed essential or desirable to the public convenience and welfare, are in harmony with the various elements and objectives of the General Plan, and are not detrimental to surrounding property.

Staff Analysis: The CUP21-02 request is expected to improve the service provider's telecommunication services along Placerville Drive, as well as those of western Placerville, thus desirable to the public convenience. The request would also facilitate an existing telecommunication commercial service use that operates within the City, including within the City's and this Commercial Land Use designated property. Use operations would not be detrimental to surrounding property due to the small size of proposed equipment, that the antenna equipment would be screened from view by employing screen enclosures painted to match the exterior paint color used throughout the Discovery Plaza shopping center, and that other equipment screened from view due to the existing roof parapet or they are enclosed within the building. Per City Code 10-3-6(D), the Commission may require such terms and conditions to the granting of a conditional use permit as the Commission may deem necessary such as the staff recommended conditions of approval that include implementation of the FCC's and Verizon's RF Safety Guidelines.

The applicant seeks approval to abandon CUP05-07 that was authorized in 2005, to make it null and void. This existing wireless telecommunications facility consists of a screen enclosure with fully concealed antennas located on the roof of the existing Discovery Plaza commercial building with associated equipment cabinets located within a room inside the commercial building, and emergency generator located within the enclosure along the rear of the building. CUP21-02

is requested to capture the telecommunications facility approved under CUP05-07, plus the facility modifications proposed on the roof of the Discovery Plaza shopping center as described.

General Regulations of the Commercial (C) Zone (City Code 10-5-10 (D))

Yards:

Minimum Yards: Front: Four (4) feet; Sides: Five (5) feet; Rear: Five (5) feet
Proposed Yards: No change

Building Height:

Maximum: Forty (40) feet
Proposed Structure Height: Thirty-four (34) feet, four (4) inches

Staff Analysis: Proposed roof mounted project improvements on an existing commercial building do not conflict with the Minimum Yards regulations of the Commercial Zone (C).

The General Regulations for each zone within the Zoning Ordinance use the term “building height” and not “structure height” when describing maximum height. A building is defined under Section 10-1-4 as a, “roofed structure designed or used for the support, shelter or enclosure of persons, animals, vehicles or material of any kind.” A structure is defined under Section 10-1-4 as, “Anything constructed or erected, requiring placement on or in the ground directly or by means of another structure.” The Commission has the authority to consider, and to condition a structure height request, or to deny a wireless telecommunication facility based on findings made regarding information in the public record.

The proposed height of the proposed roof mounted electromechanical telecommunication equipment along with the height of the existing roof deck is 34’ 4”. This structure height does not exceed the building height maximum in the C zone.

Site Plan Review 79-20-R Major Change

Changes to an approved Site Plan Review are classified as either *major* or *minor*, per City Code 10-4-9(P) Site Plan Changes. Major changes will be any change that would alter the appearance, character or intent of the approved Site Plan. New mechanical equipment visible from the public way is an example provided under City Code 10-4-9(P) to describe a Major Change to an approved SPR. The Planning Commission must approve all major changes to an approved Site Plan Review prior to building permit issuance for proposed work scope.

Staff Analysis: The proposed amendment involves new electromechanical equipment that would be visible from Ray Lawyer Drive; therefore it would constitute a major change to the 1979 Site Plan Review 79-20.

Site Plan Review Criteria

A Site Plan Review request is subject to the Criteria within Section 10-4-9(G). These criteria focus primarily upon building design, a building’s relationship to the site, and its surroundings. Landscape and site treatment criteria are also set forth. The Criteria do not address specifically a wireless telecommunication facility. Project facility components (antennas, and roof

mounted equipment) do not meet the City’s definition of a building. Project components are considered structures under City Code. However, site treatment criteria such as equipment screening, use of color and materials are applicable for Commission consideration. The Planning Commission may approve, approve with conditions, or deny an application after considering whether Site Plan Review criteria are met. Pursuant to the Zoning Ordinance, "These criteria are not intended to supersede any requirements in the city’s construction regulations, restrict imagination, innovation, or variety, but rather assist in focusing on design principles which can result in creative solutions to assist in promoting the purpose of this title."

Given that the proposal consists of mechanical equipment, the following is the criteria excerpt from Section 10-4-9(G) 4 “Building Design” of the Site Plan Review regulations that staff believes is most applicable:

(G)4(f) Mechanical equipment or other utility hardware on roof, ground, or buildings shall be screened from public view with materials harmonious with the building, or they shall be located so as not to be visible from any public ways.

Staff Analysis: The project requests, CUP21-02 and SPR79-20-R, initiated the site plan review process due to the Major Change to SPR79-20 and are a subject of this staff report.

Site Plan Review design criteria under Section (G)4 of City Code are met. Photo simulations and plan elevations provided by the applicant show that the existing and proposed screen enclosures will shield/screen the appearance of the antennas and their support structures, along with the existing roof parapet will screen other building equipment.

**Compliance Status of 1980 Approved SPR79-20 and 2005 Approved CUP05-07
Conditions of Approval**

See Attachment 3 of the Staff Report.

RECOMMENDED PLANNING COMMISSION ACTION

- I. Enter Staff’s report into the public record.
- II. Make the finding that this project is Class 3 categorical exempt pursuant to Section 15301(e) of the California Environmental Quality Act (Existing Facilities), in that the request would involve a negligible expansion of an existing wireless telecommunication facility that will not result in an increase in 50% of the floor area of the existing center.
- III. Make the following findings regarding the project location, 2849 Ray Lawyer Drive, with Assessor’s Parcel No. 325-120-077:
 - A. The project location has a General Plan Land Use designation of Commercial.
 - B. The project location is zoned Commercial (C).
 - C. The project location was granted conditional approval of SPR79-20 by the Planning Commission in 1980, to construct the Discovery Plaza shopping center on this site.

- D. The project location was granted conditional approval of CUP05-07 by the Planning Commission in 2005 on June 21, 2005 to install and operate a wireless telephone communication facility consisting of six panel antenna structure on the roof of the existing Discovery Plaza commercial building, antenna enclosure, along with a new emergency back-up generator located within an existing concrete masonry enclosure on a C (Commercial) zoned property located at 2849 Ray Lawyer Drive.

- IV. Approve request to abandon to make null and void Conditional Use Permit (CUP) 05-07.

- V. Make the following findings in support of approval of CUP21-02:
 - A. The project request would improve the service provider's telecommunication services along Placerville Drive, as well as those of west Placerville, thus desirable to the public convenience.

 - B. The project request would not adversely affect the General Plan document, in that the parcel is designated Commercial on the General Plan Land Use Map, allowing for commercial facilities, of which a telecommunication service and the existing retail service uses are allowable uses. The request does not change this use.

 - C. Use operations would not be detrimental to surrounding property due to small size of proposed equipment, and that the antenna equipment would be screened from view by employing screen enclosures and painted to match the exterior paint color used throughout the Discovery Plaza shopping center, and other equipment screened from view due to the existing roof parapet.

- VI. Approve CUP21-02 located at 2849 Ray Lawyer Drive, APN 325-120-077, based on the project information and findings included in the Staff Report, and subject to the recommended Conditions of Approval provided as Attachment 1 of staff's October 19, 2021 report.

- VII. Make the following findings in support of major change: SPR79-20-R:
 - A. The project would not adversely affect the General Plan document, in that the parcel is designated by the General Plan for commercial facilities, of which a telecommunication service and the existing retail service uses are allowable uses. The request does not change this use.

 - B. The project is consistent with the purpose and intent of the *Development Criteria* Subsection of *Site Plan Review* City Code (Section 10-4-9), in that photo simulations and plan elevations provided by the applicant show that the existing and proposed screen enclosures will shield/screen the appearance of the antennas and their support structures, and the existing roof parapet will screen other building equipment.

 - C. Proposed improvements do not conflict with the yard or building height of the General Regulations of the Commercial (C) Zone.

VIII. Approve SPR79-20-R located at 2849 Ray Lawyer Drive, APN 325-120-077, based on the project information and findings included in the Staff Report, and subject to the recommended Conditions of Approval provided as Attachment 1 of staff's October 19, 2021 report.

Attachments:

1. Recommended Conditions of Approval for CUP 21-02 SPR79-20-R
2. Applicant Submittal Package
3. Compliance Status of the 1980 Approved SPR79-20 and 2005 Approved CUP05-07 Conditions of Approval

The decision of the Planning Commission is final unless the project or project conditions are appealed to the City Council within ten calendar days.

Attachment 1

Recommended Conditions of Approval - CUP21-02 and SPR79-20-R

CUP21-02 Conditions of Approval

1. Approval of CUP21-02 involves the operation and construction of unmanned telecommunication facility use on the existing Discovery Plaza shopping center, located at 2849 Ray Lawyer Drive, APN 325-+120-077.

Approval is based upon the analysis provided in staff's October 19, 2021 report to the Planning Commission, and limited to compliance with the project description, the Applicant Submittal Package set forth below, except were deviated under a separate Condition of Approval, and all other conditions of approval set forth herein:

- Planning and Conditional Use Permit Application, including Project Description, Environmental Information Form, received September 21, 2021, prepared by Sequoia Deployment Services, Inc.;
 - Photo simulations and Site Photos – 7 pages, labeled Verizon Placerville, 2849 Placerville Drive, prepared by Artistic Engineering, received September 21, 2021
 - Plan Set – 8 sheets: T-1, A-1, A-2, A-3, A-4, A-5, S-1, S-2, labeled Verizon Placerville Antenna Mod, 2849 Placerville Drive, dated July 14, 2021, prepared by Streamline Engineering and Design, Inc, received September 21, 2021;
 - Enclosure Plan Set – 10 sheets: 1 through 10, labeled Placerville Verizon 160170, 2849 Placerville Drive, dated June 14, 2021, prepared by Peabody Engineering, received September 21, 2021.
 - *Radio Frequency Electromagnetic Fields Exposure Report*, prepared for Verizon, 2849 Placerville Drive, dated September 7, 2021, prepared by Christopher Stollar, P.E., Dtech Communications, received September 21, 2021.
2. Runs with the Land. The terms and conditions of approval of the conditional use permit and site plan review shall run with the land; shall be binding upon and be to the benefit of the heirs, legal representatives, successors, and assignees of the property owner.
 3. Any deviations from the project description, conditions, or exhibits shall be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit. Deviations without the above described approval will constitute a violation of permit approval.
 4. CUP21-02 and SPR79-20-R shall expire and become null and void eighteen months from Planning Commission action, or upon City Council approval upon appeal, unless a construction permit for the improvements described in CUP21-02 and SPR79-20-R has been obtained prior to the date of expiration.

5. All Conditions of Approval shall be in addition to those established under SPR 79-20-R and shall also be incorporated as the Conditions of Approval for CUP21-02 by reference.
6. Permits. The applicant shall obtain a building permit for the Commission approved scope of work. Three complete copies of plans shall be submitted to the Development Services Department for processing. Construction drawings submitted for permit processing shall include a sheet containing all conditions of approval under the approved CUP21-02 and SPR79-20-R.
7. Other Applicable Requirements. The project approval is subject to all applicable requirements of the Federal, State, City of Placerville and any other affected governmental agencies.
8. All construction shall be limited to the hours between 7:00 a.m. and 7:00 p.m.
9. Signage / Compliance Plan. The project shall install, maintain and comply with the compliance action, as described in Section 4.2, Page 9/14 of the document, *Radio Frequency Electromagnetic Fields Exposure Report*, prepared for Verizon, 2849 Placerville Drive, dated September 7, 2021, prepared by Christopher Stollar, P.E., Dtech Communications, received September 21, 2021 for the project.
10. To eliminate prolonged occupational exposure of workers maintaining convenience store roof and all related equipment, access to the roof shall be strictly limited to only those maintaining the roof, and all equipment and support structures.
11. The permittee shall maintain facility, including tripod antennas, mounting hardware, FRP screen enclosures, backup generator and generator enclosure fence in conformance with the conditions of the use permit. Approved RFP screen enclosures shall have and maintain a finish that matches with the Discovery Plaza shopping center base color.
12. A solid wood gate shall be installed to fully enclose the opening of the existing concrete masonry enclosure that will house the new emergency back-up generator. Wooden gate finish color shall match the base color of the Discovery Plaza. Project proponent shall maintain gate and its color finish.
13. The permittee shall notify the City of intent to vacate the site. The owner/operator will remove all structures and accessory equipment within twelve months of the date of notice unless the site is to be occupied by a successor.

SPR79-20-R Conditions of Approval

1. Approval of SPR79-20-R involves a major change to Discovery Plaza shopping center involving the construction of an unmanned wireless telecommunication facility use on the roof of Discovery Plaza, located at 2849 Ray Lawyer Drive, APN 325-120-077.

Approval is based upon the analysis provided in staff's October 19, 2021 report to the Planning Commission, and limited to compliance with the project description, the Applicant Submittal Package set forth below, except were deviated under a separate Condition of Approval, and all other conditions of approval set forth herein:

- Planning and Conditional Use Permit Application, including Project Description, Environmental Information Form, received September 21, 2021, prepared by Sequoia Deployment Services, Inc.;
- Photo simulations and Site Photos – 7 pages, labeled Verizon Placerville, 2849 Placerville Drive, prepared by Artistic Engineering, received September 21, 2021
- Plan Set – 8 sheets: T-1, A-1, A-2, A-3, A-4, A-5, S-1, S-2, labeled Verizon Placerville Antenna Mod, 2849 Placerville Drive, dated July 14, 2021, prepared by Streamline Engineering and Design, Inc., received September 21, 2021;
- Enclosure Plan Set – 10 sheets: 1 through 10, labeled Placerville Verizon 160170, 2849 Placerville Drive, dated June 14, 2021, prepared by Peabody Engineering, received September 21, 2021.
- *Radio Frequency Electromagnetic Fields Exposure Report*, prepared for Verizon, 2849 Placerville Drive, dated September 7, 2021, prepared by Christopher Stollar, P.E., Dtech Communications, received September 21, 2021.

- 1a. (if applicable)
2. Except as otherwise specified or provided for in the Project plans or in these conditions, the Project shall conform to the development standards and design requirements adopted by the City of Placerville, specifically including but not limited to the Site Plan Review Criteria (City Code Section 10-4-9(G)).
3. Substantial Conformance. The use shall be implemented in substantial conformance to the Site Plan Review as approved by the Planning Commission. Any deviations from the project description, conditions, or exhibits shall be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit. Deviations without the above described approval will constitute a violation of permit approval.
4. All Conditions of Approval shall be in addition to those established under CUP21-02 and shall also be incorporated as the Conditions of Approval for SPR 79-20-R by reference.

5. SPR79-20 Conditions 1, 4, 5, 6, 8, 9, 10, 11 and 12 that were approved in 1980 under SPR79-20 are eliminated as analyzed in Attachment 3 of Staff's October 19, 2021 report to the Planning Commission. Conditions 2, 3 and 7 are re-number under SPR79-20-R as 5a, 5b and 5c, as follows:
 - 5a. The site will only have three pole signs, one to be located on the bank, and two to be located on the center's parcel, APN 325-120-077.
 - 5b. Upon which tenant changes occur within Discovery Plaza and business signs are requested, a Master Sign Plan application per the City's Master Sign Plan regulations under City Code 10-4-17(H) and application fees shall be submitted to the Development Services Department for processing and Planning Commission approval. Subsequent business signs changes within Discovery Plaza would be required to meet the Master Sign Plan signing program specifics.
 - 5c. The loading area will be located on the east or rear side of the main building and the driveway in back of the building will be one-way in order to allow adequate room for loading and traffic flow.

Attachment 2

Applicant Submittal Package



**CITY OF PLACERVILLE
PLANNING APPLICATION**

Date: 9/24/21
Zoning: C GP: _____
File No: SPR79-20-R; CUP21-02
Filing Fee (PZ) \$1200.00
Filing Fee (EN) _____
Receipt No: 4978

REQUEST FOR:

- ☐ Annexation ☐ Boundary Line Adjustment ☐ Certificate of Compliance ☒ Conditional Use Permit
☐ Environmental Assessment ☐ Environmental Impact Report ☐ Final Subdivision Map ☐ General Plan Amendment
☐ General Plan Consistency ☐ Historic District Review ☐ Landscape Plan Review ☐ Map Amendment ☐ Merger
☐ Minor Deviation ☐ Planned Development ☐ Preliminary Plan Review ☐ Sign Package Review / Amendment
☒ Site Plan Review ☐ Temporary Commercial Coach ☐ Temporary Use Permit ☐ Tentative Parcel Map
☐ Tentative Subdivision Map ☐ Variance ☐ Zone Change

DESCRIPTION:

A request to abandon CUP05-07 and make it null and void.
A request for new CUP, and a request for Major Change to the approved SPR79-20, so that both the new CUP and SPR will encapsulate the telecommunication facility use work approved under CUP 05-07, plus the proposed screen enclosures, antennas, cabling, and associated telecommunication facility equipment.

ITEMS ABOVE THIS LINE FOR OFFICE USE ONLY

City Ordinance #1577 established a Fee & Service Charge System. In some cases project review will require the services of specialists under contract to do work that City staff cannot perform. In these cases, the applicant shall pay the direct cost of these services plus fifteen percent (15%) for City Administration.

PROJECT APPLICANT

NAME Verizon Wireless
MAILING ADDRESS 295 Parkshore Drive
Folsom, CA, 95630
PHONE _____
EMAIL _____

APPLICANT'S REPRESENTATIVE (if different)

NAME Benjamin Koff
MAILING ADDRESS 1 Spectrum Pointe Dr., Suite 13
Lake Forest, CA, 92630
PHONE (949) 214 - 8356
EMAIL ben.koff@sequoia-ds.com

PROPERTY OWNER(S)

NAME Edendale Discovery Plaza, LLC PHONE _____
MAILING ADDRESS 5241 Jensen Rd, Castro Valley, CA, 94552
EMAIL ADDRESS _____

SURVEYOR, ENGINEER, ARCHITECT, OR OWNER'S REPRESENTATIVE (If applicable)

NAME Kevin Sorenson; Streamline Engineering PHONE (916) 660 - 1930
MAILING ADDRESS 8445 Sierra College Blvd., Suite E, Granite Bay, CA, 95746
EMAIL ADDRESS kevin@streamlineeng.com
I have notified the mortgage holder, which is: _____

DESCRIPTION OF PROPERTY (Attach legal deed description)

Please see attached PTR

STREET ADDRESS 2849 Ray Lawyer Dr., Placerville, CA, 95667
ASSESSOR'S PARCEL NO.(S) 325 - 120 - 077
Above described property was acquired by owner on _____

Month Day Year

**CITY OF PLACERVILLE
DEVELOPMENT SERVICES DEPARTMENT—PLANNING DIVISION
3101 CENTER STREET, PLACERVILLE, CA 95667, (530) 642-5252**


List or attach any Covenants, Conditions or Restrictions, concerning use of property, of improvements contemplated; as well as yard setback and area or height requirements that were placed on the property by **subdivision** tract developers. Give date said restrictions expire.

I hereby certify that the statements and information contained in this application, including the attached drawings and the required findings of fact, are in all respects true and correct. I understand that all property lines must be shown on the drawings and be visible upon site inspection. In the event that the lines and monuments are not shown or their location found to be incorrect, the owner assumes full responsibility.

I further understand that if this request is subsequently contested, the burden will be on me to establish: that I produced sufficient factual evidence at the hearing to support this request; that the evidence adequately justifies the granting of the request; that the findings of fact furnished by me are adequate, and further that all structures or improvements are properly located on the ground. Failure in this regard may result in the request being set aside, and structures being built in reliance thereon being required to be removed at my expense.

PROPERTY OWNER agrees to and shall hold the CITY, its officers, agents, employees and representatives harmless from liability for damage or claims for damage for personal injury, including death, and claims for property damage which may arise from the direct or indirect operations of the PROPERTY OWNER or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to this project. PROPERTY OWNER agrees to and shall defend the CITY and its officers, agents, employees and representatives from actions for damages caused or alleged to have been caused by reason of the PROPERTY OWNER'S activities in connection with the project. This hold harmless agreement applies to all damages and claims for damages suffered or alleged to have been suffered by reason of the operations referred to in this paragraph, regardless of whether or not the CITY prepared, supplies or approved plans or specifications or both for the project.

PROPERTY OWNER further agrees to indemnify, hold harmless, pay all costs and provide a defense for CITY in any action challenging the validity of PROPERTY OWNER'S project.


Benjamin Koff, Agent o/b/o Verizon Wireless
Applicant's Signature

Benjamin Koff
Printed Name of Applicant(s)

9/10/21
Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Please see attached LOA
Signature of Property Owner

Edendale Discovery Plaza, LLC
Printed Name of Property Owner

Date

Signature of Property Owner

Printed Name of Property Owner

Date

NOTICE: Section 10-3-9 of the Placerville Municipal Code prohibits the occupancy of a building or a release of utilities prior to the issuance of a Certificate of Occupancy by the Building Division AND the completion of all zoning requirements and conditions imposed by the Planning Commission or City Council UNLESS a satisfactory performance bond or other acceptable security has been posted to insure completion. VIOLATIONS may result in prosecution and/or disconnection of utilities.

A Notice of Public Hearing and Staff Report will be prepared for applications requiring public hearing(s). Staff Report will be sent to the Applicant and Owner. Notices and Staff Reports will be sent via email if addresses have been provided; if not, the documents will be sent to the mailing addresses provided on this form. Please list below any alternate or additional recipients, along with their contact information, or any alternate instructions for sending these materials to the Applicant or Owner.



**Development Services Department
Planning Division**

**Supplemental Submittal Information For
Wireless Facilities For Conditional Use Permit
And Site Plan Review**

The following supplemental information must be provided with all applications for wireless facilities. If all the information is not provided, the application will be deemed incomplete and will not be accepted. For your convenience, please use the check (v) column on the left to be sure you have all the required information. All plans and maps, with sizes and quantities as specified under the Site Plan Review Application Requirements, MUST be folded to 8½" x 11".

FORMS AND MAPS REQUIRED

Place a check (v) on the "Applicant" lines for those items completed. The planner receiving the application will check (v) the "City" line.

N/A

Applicant	City	
<input type="checkbox"/>	<input type="checkbox"/>	1) Provide manufactures specifications or noise studies on any proposed backup generator and or air conditioning unit(s) noise levels at the facility to property lines pursuant to General Plan Health and Safety Section Polices 4, 5, 6, 7 and 8 of Goal I. http://www.cityofplacerville.org/depts/devsvcs/planning_division/general_plan.asp
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2) Provide a copy of the Hazardous Materials Questionnaire available at the El Dorado County Environmental Management Department that indicates the fuel source and containment measures for any proposed back-up generator. Indicate the power source for the facility including batteries and or solar panels.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3) Provide an EMF/RF Report (Electromagnetic Fields/Radio Frequency) for the proposed wireless facility that demonstrates compliance with the latest FCC Wireless Facility Standards for emissions and exposure levels. Include the dimensional size, number and type of towers, microwave dishes and antennae on the plans and in the EMF/RF report. The report shall address the proposed facility's EMF/RF energy emissions as well as addressing existing wireless facilities EMF/RF energy emissions to ensure compliance with FCC EMF/RF regulations. Express power density in milliwatts per square centimeter (mW/cm ²).
<input type="checkbox"/>	<input type="checkbox"/>	4) Provide information describing the fire suppression system proposed for the wireless facility shelter/enclosure.
<input type="checkbox"/>	<input type="checkbox"/>	5) Provide information that shows and lists alternative site locations that have been reviewed.
<input type="checkbox"/>	<input type="checkbox"/>	6) Provide information identifying the school district and any homeowners association established by CC&Rs which involve the property on which the proposed facility is to be located.
<input type="checkbox"/>	<input type="checkbox"/>	7) Provide information describing the co-location capability of the proposed tower.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8) Provide fifteen (15) color copies of Visual Simulations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9) Indicate on site plan(s) a fire district approved turn around at project site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	10) Indicate the facility setbacks to property lines and or road easements. Describe and justify any requested setback deviations.
<input type="checkbox"/>	<input type="checkbox"/>	11) Indicate if the facility will be underground or above ground and if the utilities will be underground or above ground. Indicate the distance and cubic yards of material removed and replaced for utility trenching.
<input type="checkbox"/>	<input type="checkbox"/>	12) Indicate any lighting to be used and if any timers or motion detector controlled lights will be utilized and type of light shielding.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	13) Provide information on paint and colors proposed to be used on the facility and support structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14) Provide information on the type of camouflage techniques to be used on the facility and support structure (s) and show how you will address the elimination of all reflective surfaces.
<input type="checkbox"/>	<input type="checkbox"/>	15) Identify and list all tree and plant species type and size that will be removed and replaced for the new facility if applicable.
<input type="checkbox"/>	<input type="checkbox"/>	16) Provide a landscaping plan and temporary irrigation system for the facility if vegetation is to be used to screen the facility.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17) Provide a title report or deed identifying legal access.

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

N/A

File Number: _____

Date Filed: _____

CITY OF PLACERVILLE

ENVIRONMENTAL INFORMATION FORM

(To Be Completed By Applicant)

This form is required to be completed, returned and accepted as complete by the City prior to the application for the project is determined complete.

A. GENERAL INFORMATION

Project Title or

Name: Verizon Wireless -- Placerville (Antenna Mod)

City: Placerville

Name of Owner: Edendale Discovery Plaza, LLC Telephone: _____

Address: 5241 Jensen Rd., Castro Valley, CA, 94552

Name of Architect, Engineer or Designer: Kevin Sorenson; Streamline Engineering

Address: 8445 Sierra College Blvd., Suite E, Granite Bay, CA, 95746 Telephone: (916) 660 - 1930

Project Location: 2849 Ray Lawyer Dr., Placerville, CA, 95667

Assessor's Parcel Number(s): 325 - 120 - 077

General Plan Designation: _____

Zoning: Commercial

Property size

Gross (sq. ft./acre): 3.88 AC

Net (sq. ft./acre) (total minus areas of public streets and proposed dedications) : 3.88 AC

Please answer all of the following questions as completely as possible.

B. PROJECT DESCRIPTION

1. Type of project and description: Please see attached detailed description
2. What is the number of units/parcels proposed? N/A
3. What is the gross number of units per acre? N/A
4. Site Size: N/A
5. Square footage of each use: N/A
6. Number of floors of construction: N/A
7. Amount of off-street parking provided: N/A
8. Attach plans showing streets, utilities, existing and proposed contours (grading), drainage, all existing large trees (24" in circumference), existing and proposed buildings surrounding uses and/or buildings, landscape areas, parking areas, driveways, pedestrian walkways, exterior lighting, trash collection area, sign locations.
9. Proposed scheduling: N/A
10. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected: N/A
11. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities: N/A

12. If industrial, indicate type, estimated employment per shift, and loading facilities
N/A

13. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project: N/A

14. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required: Please see attached detailed project description

N/A 15. Provide an analysis of traffic generated by the project and how it will impact existing traffic.

N/A 16. If the project is in a location of known mining activity, a complete geological analysis shall be submitted.

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

	YES	NO
17. Change in existing features of any hills or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Change in pattern, scale or character of general area of project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Significant amounts of solid waste or litter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Change in dust, ash, smoke, fumes or odors in vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Change lake, stream or ground water quality or quantity, or alteration of existing drainage patters.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Substantial change in existing noise or vibration levels in the vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Site on filled land or on slope of 10 percent or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Use of disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Substantially increase fossil fuel consumption (oil, natural gas, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Is this project part of a larger project or series of projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ENVIRONMENTAL SETTING

29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures.

Attach photographs of the site. Snapshots or Polaroid photos will be accepted. _____

The existing wireless facility is located on the rooftop of a commercial building. Antennas are located within an existing rooftop FRP screen enclosure. There are no topographical or soil stability concerns. The site is not home to any significant plant/animal life or cultural, historical, or scenic aspects.

30. Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity. Snapshots or Polaroid photos will be accepted. The existing wireless facility is located on the rooftop of a commercial building.

Properties to the north, south, and west of the wireless facility are all retail/ commercial uses.

To the east of the existing wireless facility is vacant land. There are no significant cultural, historical, or scenic aspects to the surrounding properties. The surrounding area is not home to any plant/animal life.

GEOLOGY AND SOILS

31. Identify the percentage of land in the following slope categories: (The applicant may wish to submit a map showing slopes.)

x 0 to 10% 11 to 15% 16 to 20% 21 to 29% 30 to 35% Over 35

32. Have you observed any building or soil settlement, landslides, rock falls mining or avalanches on this property or in the nearby surrounding area? No

If yes, please explain: _____

33. Describe the amount of cut and fill necessary for the project: N/A

DRAINAGE AND HYDROLOGY

34. Is the project located within a flood plain? If so, describe and show area subject to flooding on a map. No

35. What is the distance to the nearest body of water, stream or year round drainage channel? Name of the water body: No

36. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amounts into any streams? No

37. Will the project result in the physical alteration of a natural body of water or drainage way? If so, in what way? No

38. Does the project area contain any wet meadows, marshes or other perennially wet areas? No **If so, delineate this area on Site Plan.**

VEGETATION AND WILDLIFE

39. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each: N/A

40. How many trees of 7.5-inch diameter or 20 feet high will be removed when this project is implemented? N/A

FIRE PROTECTION

41. What is the nearest emergency source of water for fire protection purposes? (Hydrant, pond, etc.):
Hydrant
42. What is the distance to the nearest fire station? 1 mile
43. Will the project create any dead-end roads greater than 300 feet in length? No
44. Will the project involve the burning of any material, including brush, trees and construction materials? No

NOISE

45. Is the project near a heavy commercial area, industrial area, freeway or major highway? If so, how far? No
46. What types of noise would be created by the establishment of this land use, both during and after construction? N/A

AIR QUALITY

47. Would any noticeable amounts of air pollution, such as smoke, dust or odors be produced by this project? No

WATER QUALITY

48. What is the proposed water source: EID City of Placerville Well XOther
49. What is the water use? (residential, agricultural, industrial or commercial): N/A

HAZARDS

50. Is the site listed on California Environmental Protection Agency's Hazardous Site List? No
- If yes, what is the regulatory identification number: _____
- Date of list: _____

AESTHETICS

51. Will the project obstruct scenic views from existing residential areas, public lands, public bodies of water or roads? No

ARCHAEOLOGY/HISTORY

52. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (example: Indian burial grounds, gold mines, etc.): No

SEWAGE

53. What is the proposed method of sewage disposal?
Septic System City Sewer XOther: N/A
54. Would the project require a change in sewage disposal methods from those currently used in the vicinity? No

TRANSPORTATION

55. Will the project create any traffic problems or change any existing roads, highways, or existing traffic patterns? No
56. Will the project reduce or restrict access to public lands, parks or any public facilities? No
57. Will the project change the L.O.S. on any existing roads? No

GROWTH INDUCING IMPACTS

58. Will the project result in the introduction of activities not currently found within the community? No
59. Could the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (examples: include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)? No
60. Will the project require the extension of existing public utility lines? No If So, identify and give distances: _____

GENERAL

61. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material? No
62. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? No
63. Could the project create new, or aggravate existing health problems (including, but not limited to flies, mosquitoes, rodents and other disease vectors)? No
64. Will the project displace any community residents? No

Discuss any yes answers to the previous questions, use additional sheets if necessary.

MITIGATION MEASURES

Proposed mitigation measures for any of the above questions where there will be an adverse impact, use additional sheets if necessary: _____

CERTIFICATION

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

9/10/21

Date



Signature

CD-021-P

3/15

For Agent o/b/o Verizon Wireless

CITY OF PLACERVILLE POLICY FOR POSTING PROPERTIES FOR DEVELOPMENT PROJECTS

It is the policy of the City of Placerville that notice is provided to the persons who may be affected by a development project as soon as possible. The Council has determined that the best way to accomplish this is to post the property proposed to be developed at the time an application is filed for development. The responsibility for posting will be the applicant for the development. The process will be as follows:

1. **INITIAL CONTACT** -The applicant will contact the Planning Division regarding the potential of developing a property. If the applicant decides to continue, they will be provided a development application which will include the City policy on posting properties.
2. **SECONDARY CONTACT**- The applicant will contact the Planning Division prior to the construction of the required sign(s) to acquire the "Project No." information.
3. **SUBMITTAL OF APPLICATION** -The applicant will submit the completed application to the City. At the time the applicant will provide evidence that the property has been posted in accordance with the City's posting policy.

The attached detail provides the minimum requirements for the construction of the sign. It is the responsibility of the applicant to provide for the construction of the sign and the applicant is also responsible for the placement and to maintain the sign.

For the following application requests, the sign shall be two feet (2') by two feet (2') in size: Zone Changes, Subdivisions and General Plan Amendments, Parcel Maps, Conditional Use Permits, Variances, Historic District Reviews, Site Plan Reviews or any other application that will require a public hearing.

The sign shall be black letters on a yellow background and read as follows:

NOTICE OF DEVELOPMENT

**AN APPLICATION FOR DEVELOPMENT OF THIS PROPERTY
HAS BEEN FILED WITH THE CITY OF PLACERVILLE
PROJECT NO. _____**

**FOR MORE INFORMATION CALL THE PLANNING DIVISION
AT (530) 642-5252**

A minimum of one sign shall be posted on each street on which the property has frontage. Signs shall be posted facing the street about every two hundred feet (200') apart along the street frontage of the property. There shall be a minimum of two signs posted on corner lots and through lots, one facing each street.

Where the property does not have street frontage on or is not easily visible from the street, the sign(s) shall be posted in a location deemed suitable by the Planning or Engineering staffs.

The sign shall be posted no more than five feet (5') from the street line and shall be visible and readable from the street for the entire time of its posting.

The sign(s) shall remain posted until final action has been taken on the application.

The sign(s) shall be constructed of materials suitable to remain standing during the estimated posting time and to hold up to the weather.



Verizon Wireless Proposed Wireless Telecommunications Use Permit and Site Plan Review
Placerville – 2849 Ray Lawyer Drive, Placerville, CA, 95667
Original Case Number: Conditional Use Permit 05-07, Site Plan Review 79-20

Project Description

Verizon Wireless is proposing to modify an existing wireless telecommunications facility at 2849 Ray Lawyer Drive. The existing facility, located on the roof of a commercial building in Discovery Plaza, features an FRP screen box with fully concealed antennas. Associated equipment cabinets are located within a room inside the existing building. Existing antennas are mounted at a tip height of 30'-1" and the proposed tip height of the antennas will increase by 3'-9" to 33'-10". Due to the addition of new FRP screen enclosures, overall facility heights will increase 1'-10" from 32'-6" to 34'-4". This facility was originally approved on June 21st, 2005, through Conditional Use Permit 05-07. Verizon Wireless seeks to abandon CUP05-07 and make it null and void. In doing so, Verizon Wireless requests a new CUP, and a request for Major Change to the approved Site Plan Review Permit 79-20, so that both the new CUP and SPR will encapsulate the telecommunications facility approved under CUP05-07, plus a series of facility modifications. The proposed site consists of the following:

- Removal of three (3) panel antennas
- Removal of one (1) 6201 Cabinet w/ twelve (12) radio units
- Installation of six (6) panel antennas
- Installation of six (6) remote radio units
- Installation of four (4) raycaps (three (3) @ antenna location & one (1) @ equipment location)
- Installation of two (2) FRP screen enclosures

The existing equipment area, located within the building, will remain unchanged.

In efforts to meet customer demands, Verizon Wireless is proposing to upgrade the facility in a manner that will not create conditions or situations that may be objectionable, detrimental or incompatible with the surrounding land uses. The facility continues to only require periodic maintenance, which equates to approximately one trip per month. Furthermore, Verizon will operate in full compliance with all local, state and federal regulations including the Telecommunications Act of 1996.

Verizon Wireless is a registered public utility, licensed and regulated by the California Public Utilities Commission (CPUC) and the Federal Communications Commission (FCC). Verizon Wireless technology does not interfere with any other forms of private or public communications systems. Verizon Wireless respectfully requests approval to modify this telecommunications facility to meet the growing demands of today and tomorrow.

RADIO FREQUENCY ELECTROMAGNETIC FIELDS EXPOSURE REPORT

PRE-Activation

Prepared for Verizon

Site Name: [Placerville](#)
Site ID: [160170](#)
Site Type: [Rooftop](#)

Located at:

**2849 Ray Lawyer Dr
Placerville, CA 95667
Latitude: 38.728394 / Longitude: -120.835672**

Report Date: [9/7/2021](#)
Report By: [Christopher Stollar, P.E.](#)

**Based on FCC Rules and Regulations, Verizon will be compliant provided
recommendation(s) are implemented.**

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1.0 EXECUTIVE SUMMARY

Dtech Communications, LLC (“Dtech”) has been retained by Sequoia Deployment Services, Inc., contractors to Verizon, to determine whether its wireless communications facility complies with the Federal Communications Commission (“FCC”) Radio Frequency (“RF”) Safety. This report contains a computer-simulated analysis of the Electromagnetic Fields (“EMF”) exposure resulting from the facility. The analysis also includes assessment of existing wireless carriers on site, where information is provided. The table below summarizes the results at a glance:

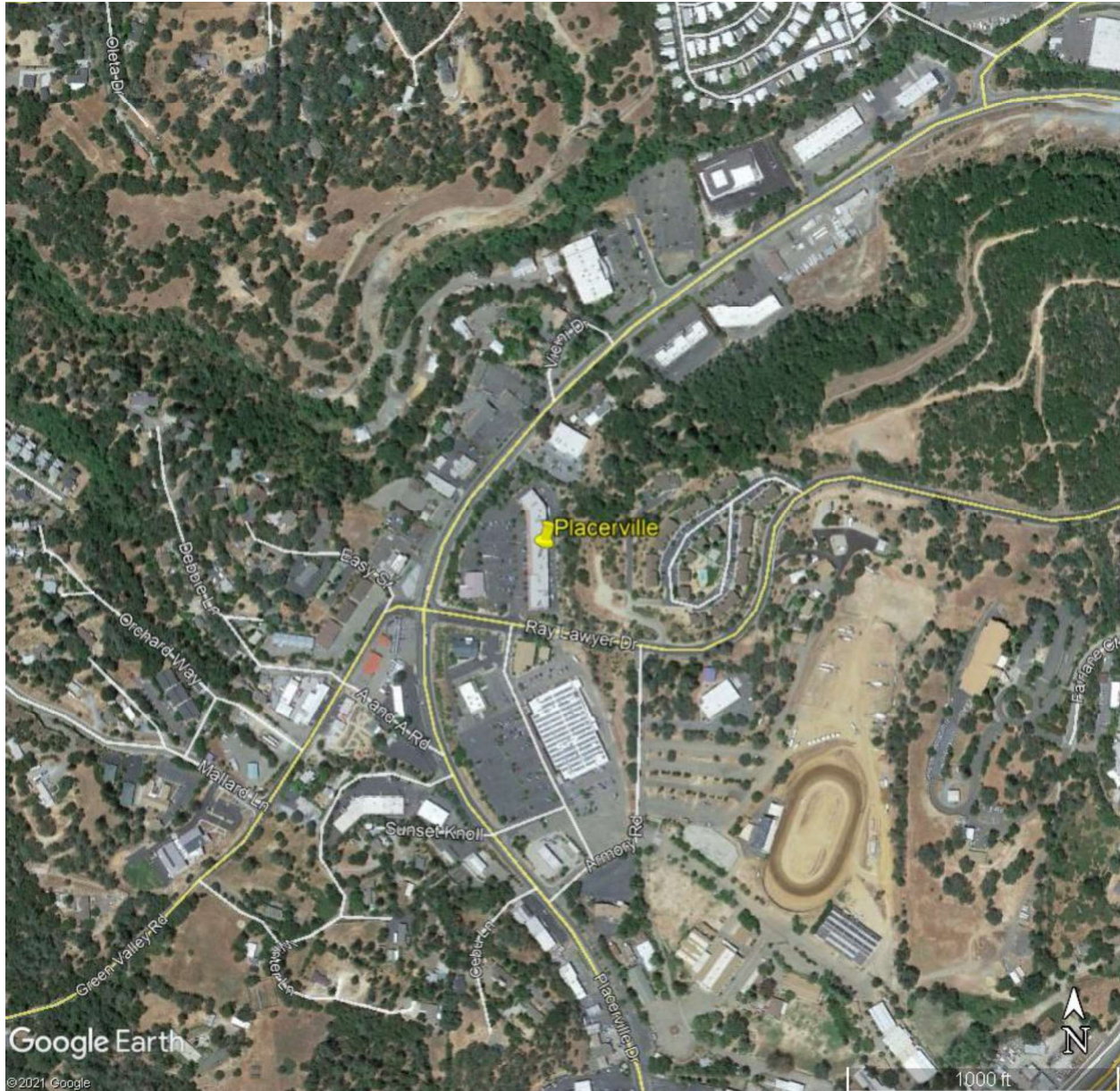
Table 1: EMF Summary

Verizon	Summary
Access Type	Ladder
Access to antennas locked	Recommended
RF Sign(s) @ access point(s)	NOC, GUIDELINE (Recommended)
RF Sign(s) @ antennas	CAUTION, WARNING (Recommended)
Barrier(s) @ sectors	Required - see Recommendations
Max EMF simulated level for Verizon on Ground	63.5% General Population
Max EMF simulated level for Verizon on Lower Interior	31.5% General Population
Max EMF simulated level for Verizon on Roof	5954.0% General Population (1190.8% Occupational)

2.0 SITE DESCRIPTION

The wireless telecommunication facility is located on a building rooftop. The facility consists of 1 wireless carrier(s) or operator(s): Verizon. The antennas are typically grouped into sectors pointing in different directions to achieve the desired areas of coverage. Verizon's antennas are mounted inside box screens on the main roof.

2.1 Site Map



2.2 Antenna Inventory

The table below reflects the technical specifications provided by our clients and/or gathered from physical field surveys where applicable. This final configuration¹, including power settings and antenna orientations must be maintained to remain in compliance with FCC guidelines. For co-locators or nearby transmitters, conservative estimates are used for purposes of a cumulative study where information is not provided or available.

Table 2: Site Technical Specifications

Antenna ID	Operator	Antenna Mfg	Antenna Model	Type	Frequency (MHz)	Orientation (°T)	Horizontal BWdth (°)	Antenna Aperture (ft)	Antenna Gain (dBd)	Total Input Power (Watts)	Total ERP (Watts)	Bottom Tip Height Above Ground (Z) (ft)	Bottom Tip Height Above Interior (Z) (ft)	Bottom Tip Height Above Roof (Z) (ft)
A1	Verizon	VZE01	VZE01	Panel	3700	35	11	2.8	23.6	160	36329	31.0	12.9	5.9
A2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	746	35	75	4.9	10.6	142	1611	28.9	10.8	3.8
A2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	880	35	68	4.9	11.2	142	1875	28.9	10.8	3.8
A2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	880	35	68	4.9	11.2	142	1875	28.9	10.8	3.8
A2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	1965	35	72	4.9	13.9	142	3468	28.9	10.8	3.8
A2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	2120	35	64	4.9	14.9	142	4417	28.9	10.8	3.8
B1	Verizon	VZE01	VZE01	Panel	3700	170	11	2.8	23.6	160	36329	29.2	18.5	11.5
B2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	746	170	75	4.9	10.6	142	1611	27.2	16.5	9.5
B2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	880	170	68	4.9	11.2	142	1875	27.2	16.5	9.5
B2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	880	170	68	4.9	11.2	142	1875	27.2	16.5	9.5
B2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	1965	170	72	4.9	13.9	142	3468	27.2	16.5	9.5
B2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	2120	170	64	4.9	14.9	142	4417	27.2	16.5	9.5
C1	Verizon	VZE01	VZE01	Panel	3700	270	11	2.8	23.6	160	36329	29.2	18.5	11.5
C2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	746	270	75	4.9	10.6	142	1611	27.2	16.5	9.5
C2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	880	270	68	4.9	11.2	142	1875	27.2	16.5	9.5
C2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	880	270	68	4.9	11.2	142	1875	27.2	16.5	9.5
C2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	1965	270	72	4.9	13.9	142	3468	27.2	16.5	9.5
C2	Verizon	Commscope	NNH4-65A-R6H4-V1	Panel	2120	270	64	4.9	14.9	142	4417	27.2	16.5	9.5

¹ Provided initial input powers for the VZE01 were 320 Watts. To achieve compliance, the final configuration table reflects a VZE01 power reduction of 3dB for all sectors.

3.0 ANALYSIS

3.1 Emission Predictions

Figure 1: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits for a typical 6-foot person. White represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits). Individuals can safely occupy areas in white and green for indefinite amount of time; whereas areas in blue, yellow & red must be restricted to RF trained personnel who has been made fully aware of potential for exposure, has control and knows how to reduce their exposure with the use of personal protection equipment or has the ability to power down the transmitters.

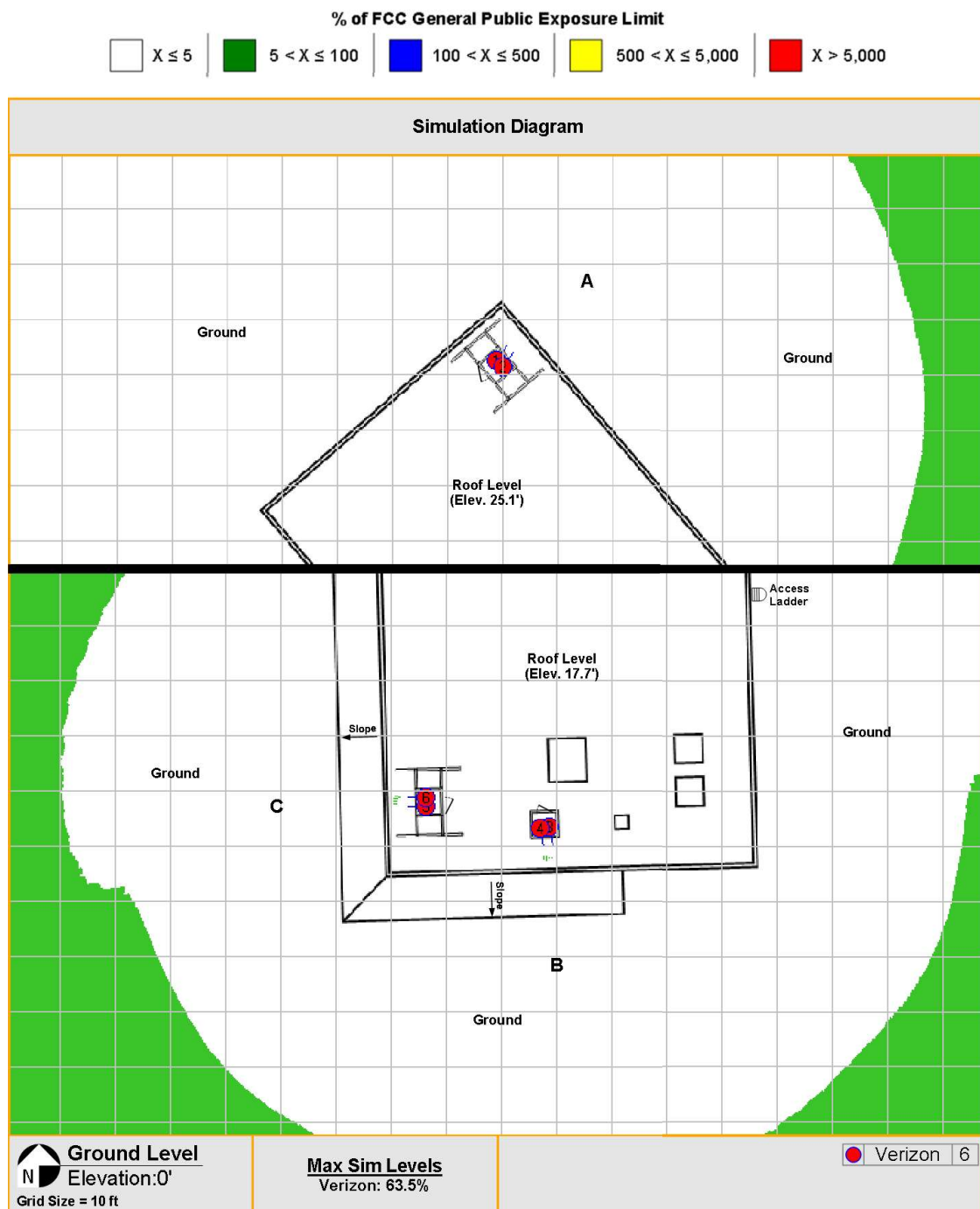
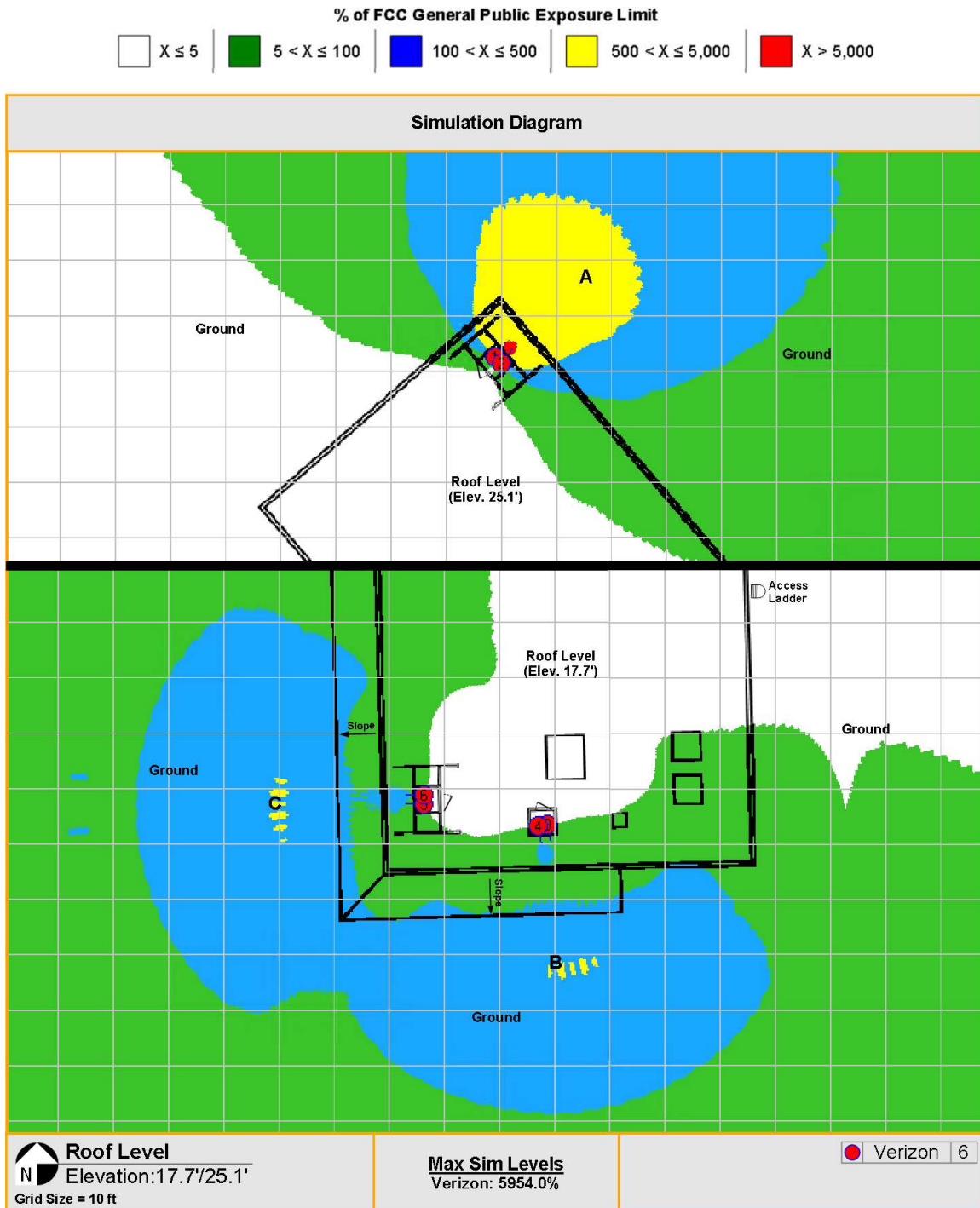


Figure 2: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits for a typical 6-foot person. White represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits). Individuals can safely occupy areas in white and green for indefinite amount of time; whereas areas in blue, yellow & red must be restricted to RF trained personnel who has been made fully aware of potential for exposure, has control and knows how to reduce their exposure with the use of personal protection equipment or has the ability to power down the transmitters.



Figure 3: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits for a typical 6-foot person. White represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits). Individuals can safely occupy areas in white and green for indefinite amount of time; whereas areas in blue, yellow & red must be restricted to RF trained personnel who has been made fully aware of potential for exposure, has control and knows how to reduce their exposure with the use of personal protection equipment or has the ability to power down the transmitters.



4.0 CONCLUSION

4.1 Results

For a person standing in accessible areas on the ground and lower interior, calculations for Verizon's site resulted in exposure levels below the FCC's most stringent General Population MPE Limits (see figure 1-2).

For a person standing on the roof, the highest calculated exposure level is above the FCC's General Population MPE Limits near the Verizon antennas (see figure 3).

There may be situations where workers i.e. window washers, painters, roofers, etc., may find themselves directly in front of the antennas. Individuals entering the site or working near/in front of antennas must receive appropriate RF safety training and be made aware of the HotZones (areas where RF exposure may potentially exceed FCC safety limits). In addition, contact information should be made available in the event work is required within the HotZones. Alternatively, if the need occurs for any building maintenance personnel to work directly in front of the antennas, Verizon should be contacted to arrange for the power to be shut down during the work period.

4.2 Recommendation(s)

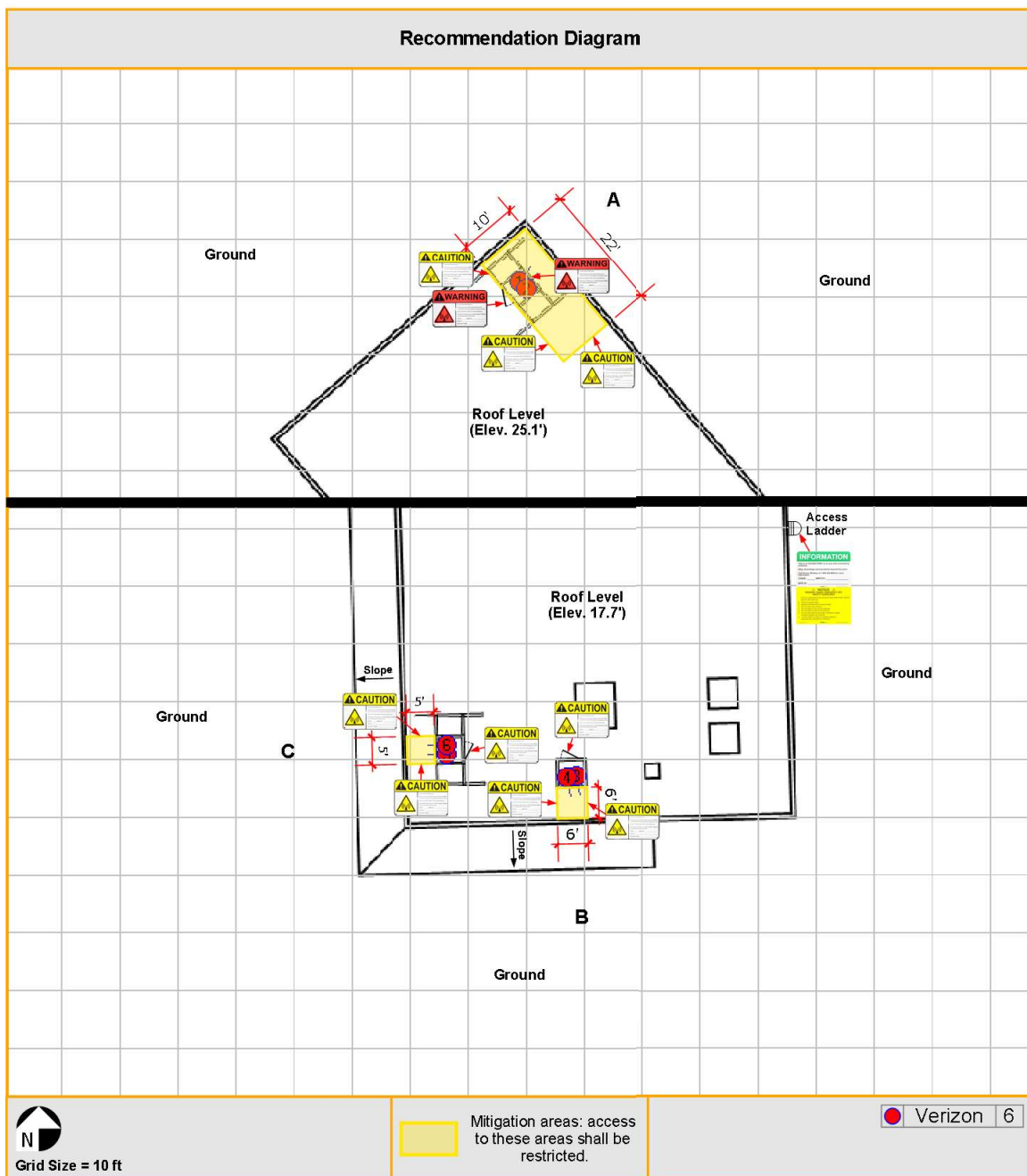
The following compliance action(s) would be sufficient to meet the FCC's and Verizon's RF Safety Guidelines² (see figure 4):

- 1) Access to the roof(s) should be restricted to RF trained personnel only and should be controlled to prevent unauthorized routine access by the general public.
- 2) Install barriers³ and/or indicative markings with RF advisory signs according to the Recommendation diagram.
- 3) Apply RF safety program. Proper notification and contact information must be provided to the building's landlord or property owner. This will help ensure that a regional point of contact or the NOC will be contacted when someone in the public needs to perform maintenance in areas of potential concern.

² REGCOM-RCG-NP-15-0003 - RF Compliance Signage and Demarcation Policy

³ Barrier(s) must be built according to OSHA unprotected roof edge standards. If a physical barrier i.e. stanchions with rope/chains is implemented (as opposed to indicative markings such as paint boundaries or striping), then unanchored objects i.e. stanchions must be placed no closer than 6 feet from an unprotected roof edge where the parapet height is lower than 36 inches.

Figure 4: Recommendation(s)



4.3 Statement of Compliance

Based on the above results, analysis and recommendation(s), it is the undersigned's professional opinion that Verizon's site will be compliant with the FCC's RF Safety Guidelines provided recommendation(s) are implemented.

4.4 Engineer Certification

This report has been prepared by or under the direction of the following Registered Professional Engineer: Darang Tech, holding California registration number 16000. I have reviewed this report and believe it to be both true and accurate to the best of my knowledge.



Appendix A: Background

Dtech uses the FCC's guidelines described in detail in Office of Engineering & Technology, Bulletin No. 65 ("OET-65") "Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields". The table below summarizes the current Maximum Permissible Exposure ("MPE") safety limits classified into two groups: General population and Occupational.

Table 3: FCC MPE Limits (from OET-65)

Frequency (Mhz)	General Population/ Uncontrolled MPE (mW/cm ²)	Averaging Time (minutes)	Occupational/ Controlled MPE (mW/cm ²)	Averaging Time (minutes)
30 - 300	0.2	30	1.0	6
300 - 1500	Frequency (Mhz)/1500 (0.2 – 1.0)	30	Frequency (Mhz)/300 (1.0 – 5.0)	6
1500 - 100,000	1.0	30	5.0	6

General population/uncontrolled limits apply in situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment, and may not be fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.

Occupational/controlled limits apply in situations in which persons are exposed as a consequence of their employment, and those persons have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits, as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

It is important to understand that the FCC guidelines specify *exposure* limits not *emission* limits. For a transmitting facility to be out of compliance with the FCC's RF safety guidelines an area or areas where levels exceed the MPE limits must, first of all, be in some way *accessible* to the public or to workers. When accessibility to an area where excessive levels is appropriately restricted, the facility or operation can certify that it complies with the FCC requirements.

Appendix B: Measurement and/or Computer Simulation Methods

Spatial averaging measurement technique is used. An area between 2 and 6 feet, approximately the size of an average human, is scanned in single passes from top to bottom in multiple planes. When possible, measurements were made at very close proximity to the antennas and inside the main beam where most of the energy is emitted. The spatial averaged values were recorded. A result higher than 100% exceeds the FCC's General Population MPE Limits.

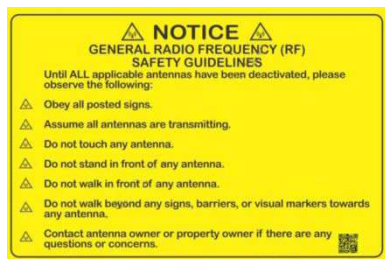
Dtech uses an industry standard power density prediction computer Model⁴ to assess the worse-case, cumulative EMF impact of the surrounding areas of the subject site. In addition, the analysis is performed at 100% duty cycle-all transmitters are active at all times and transmitting at maximum power. For purposes of a cumulative study, nearby transmitters are included where possible. The result is a surrounding area map color-coded to percentages of the applicable FCC's MPE Limits.

Appendix C: Limitations

The conclusions in this document rendered by Dtech are based solely upon the information collected during the site survey and/or furnished by our Client which Dtech believes is accurate and correct. Dtech, however, has no responsibility should such Client provided information prove to be inaccurate or incorrect. Third party specification estimates used for cumulative computer simulation purposes, where applicable, are based on common industry practices and our best interpretation of available information. Data, results and conclusions in this document are valid as of its date. However, as mobile technologies continuously change, these data, results and conclusions may also be at variance with such future changes. Dtech has no responsibility to update its survey or report to account for such future technology changes. This document was prepared for the use of our Client only and cannot be utilized by any third party for any purpose without Dtech's written consent. Dtech shall have no liability for any unauthorized use of this document and any such unauthorized user shall defend, indemnify and hold Dtech and its owners, directors, officers and employees harmless from and against any liability, claim, demand, loss or expense (including reasonable attorney's fees) arising from such unauthorized use.

⁴ Roofmaster(tm)

Appendix D: Sample Verizon⁵ RF Advisory Signs



GUIDELINES Sign



NOC INFORMATION Sign



NOTICE Sign



CAUTION Sign

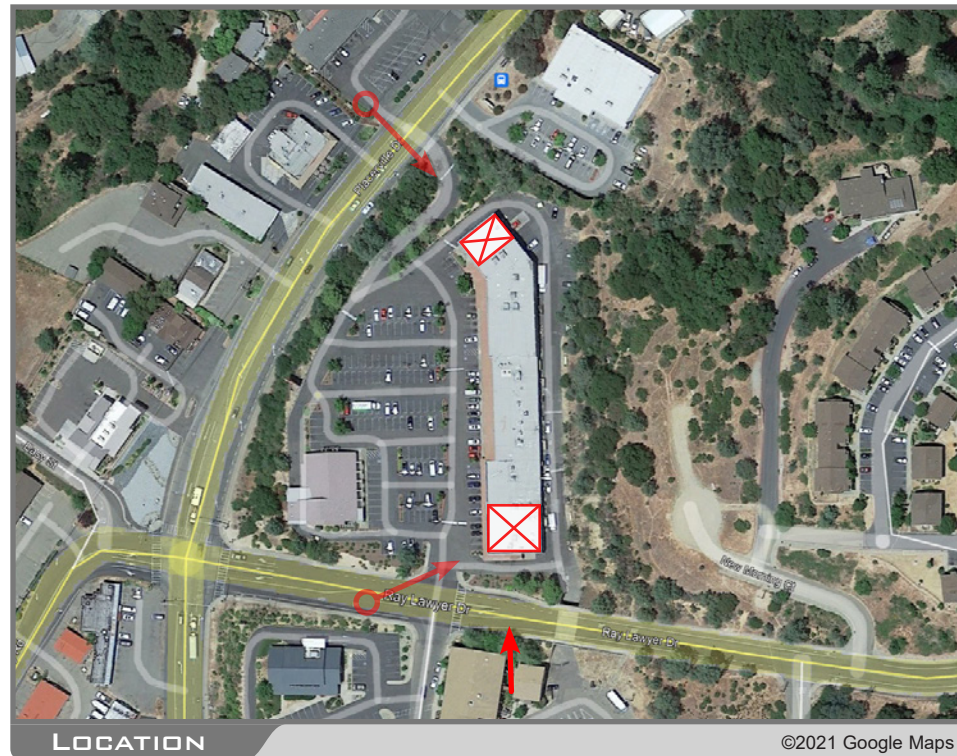


CAUTION Stay-Back Sign



WARNING Sign

⁵ The above signage is for reference only. Actual signs may be updated in accordance to Verizon RF policy

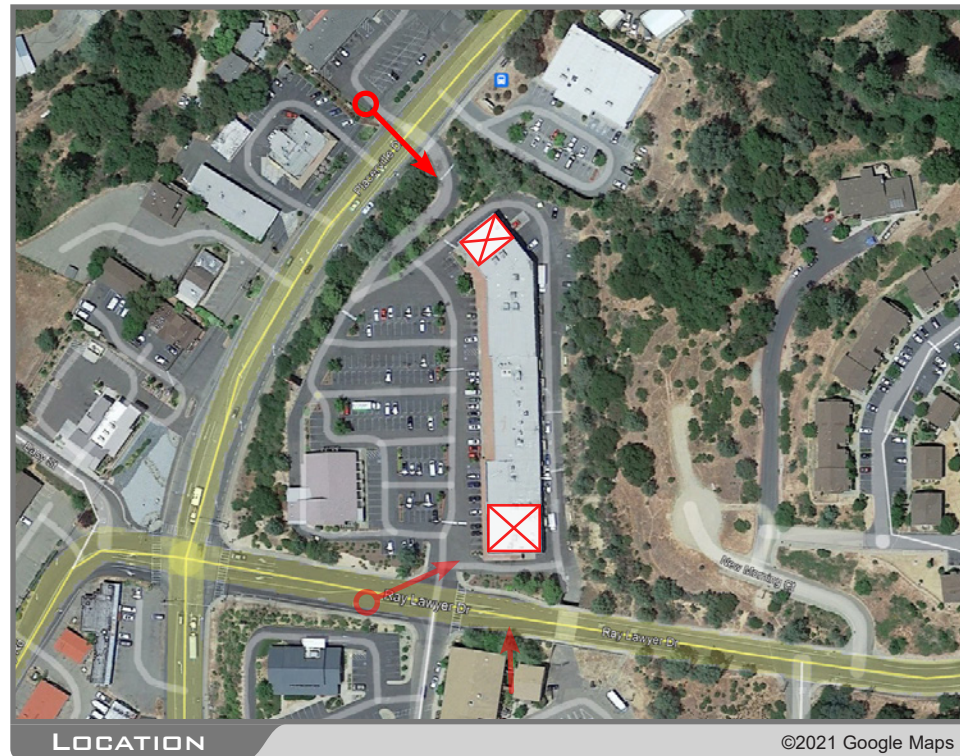




PLACERVILLE

2849 RAY LAWYER DRIVE PLACERVILLE CA 95667

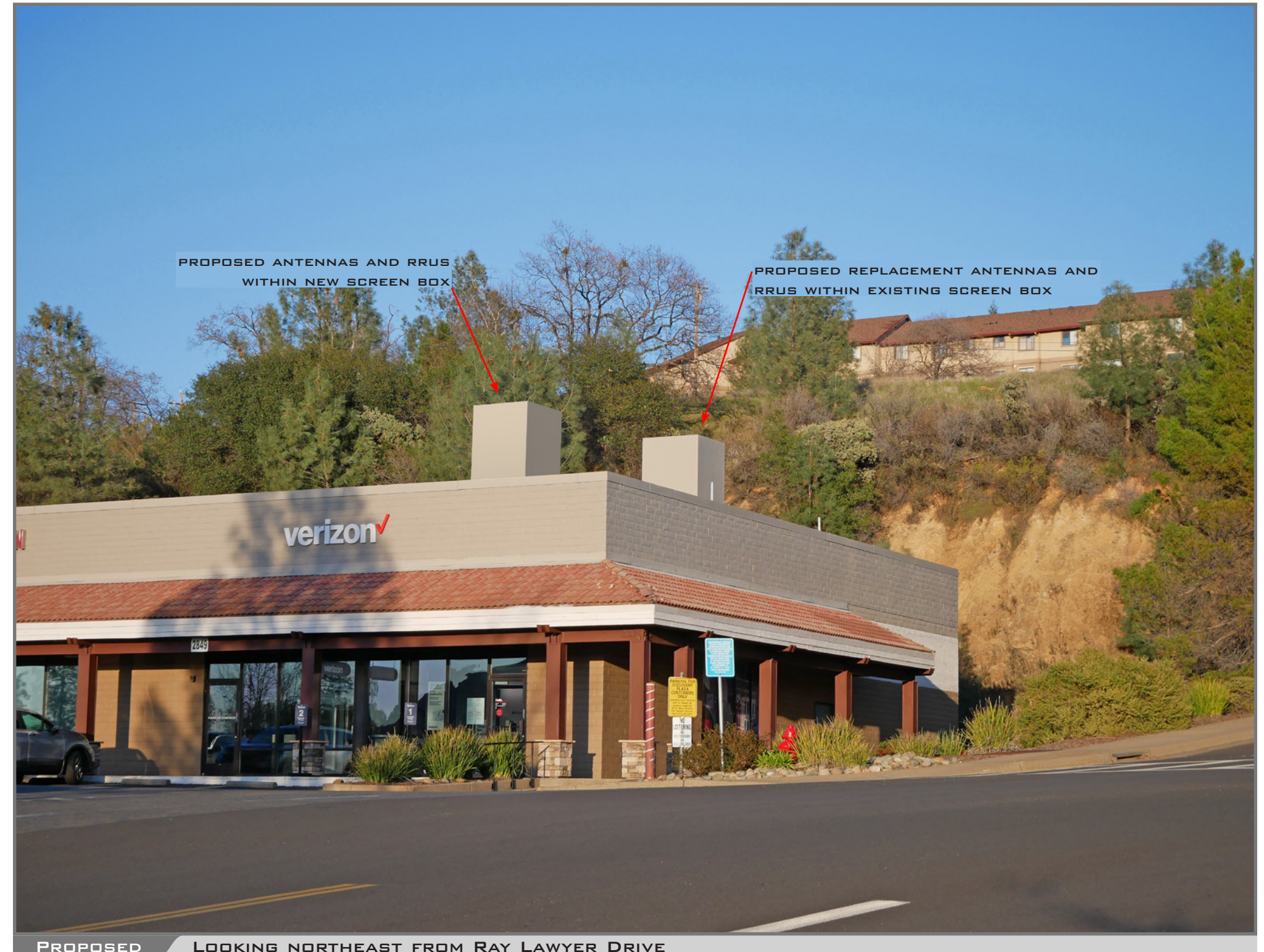
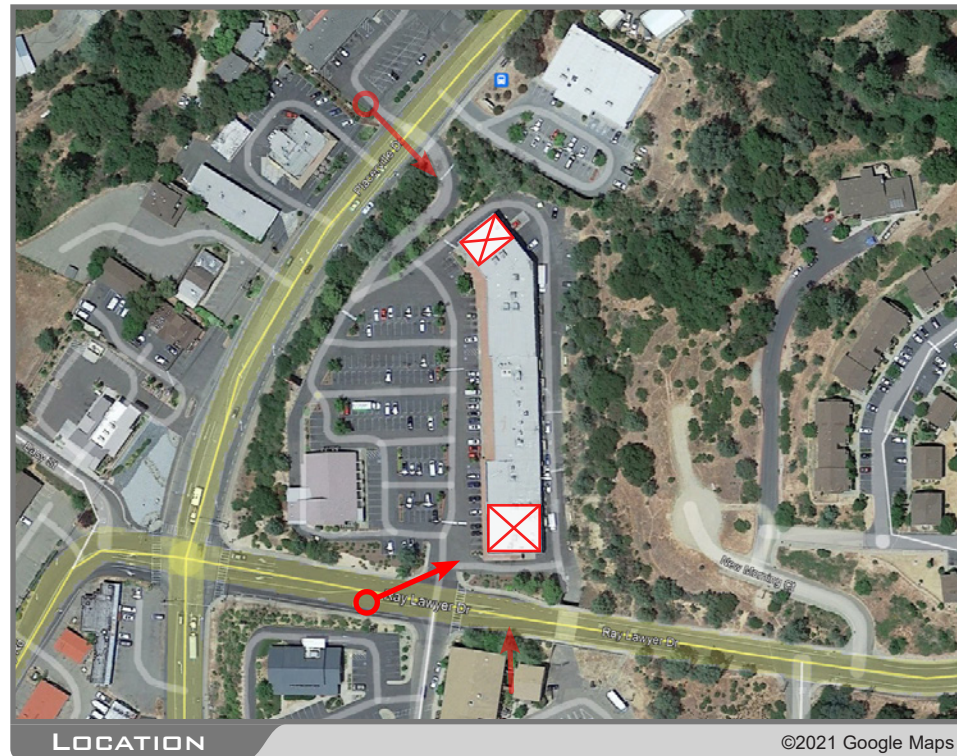
VIEW 2





PLACERVILLE

2849 RAY LAWYER DRIVE PLACERVILLE CA 95667





VERIZON WIRELESS EQUIPMENT ENGINEER:	VERIZON WIRELESS REAL ESTATE:
SIGNATUREDATE	SIGNATUREDATE
VERIZON WIRELESS CONSTRUCTION:	VERIZON WIRELESS RF ENGINEER:
SIGNATUREDATE	SIGNATUREDATE
PROPERTY OWNER:	SEQUOIA DEVELOPMENT SERVICES – LEASING
SIGNATUREDATE	SIGNATUREDATE
SEQUOIA DEVELOPMENT SERVICES – CONSTRUCTION	SEQUOIA DEVELOPMENT SERVICES – ZONING
SIGNATUREDATE	SIGNATUREDATE

PLACERVILLE (ANTENNA MOD)

2849 RAY LAWYER DRIVE, PLACERVILLE, CA 95667

LOCATION NUMBER: 160170

PROJECT ID NUMBER: 20202215419

CODE COMPLIANCE

ALL WORK & MATERIALS SHALL BE PERFORMED & INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

2019 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2019 CALIFORNIA BUILDING CODE (CBC), PART 2, VOLUME 1&2, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2017 NATIONAL ELECTRICAL CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2018 UNIFORM MECHANICAL CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2018 INTERNATIONAL FIRE CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24 C.C.R.
2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
ANSI/EIA–TIA–222–H

ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS

DISABLED ACCESS REQUIREMENTS

THIS FACILITY IS UNMANNED & NOT FOR HUMAN HABITATION. DISABLED ACCESS & REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA STATE BUILDING CODE, TITLE 24 PART 2, SECTION 11B–203.5

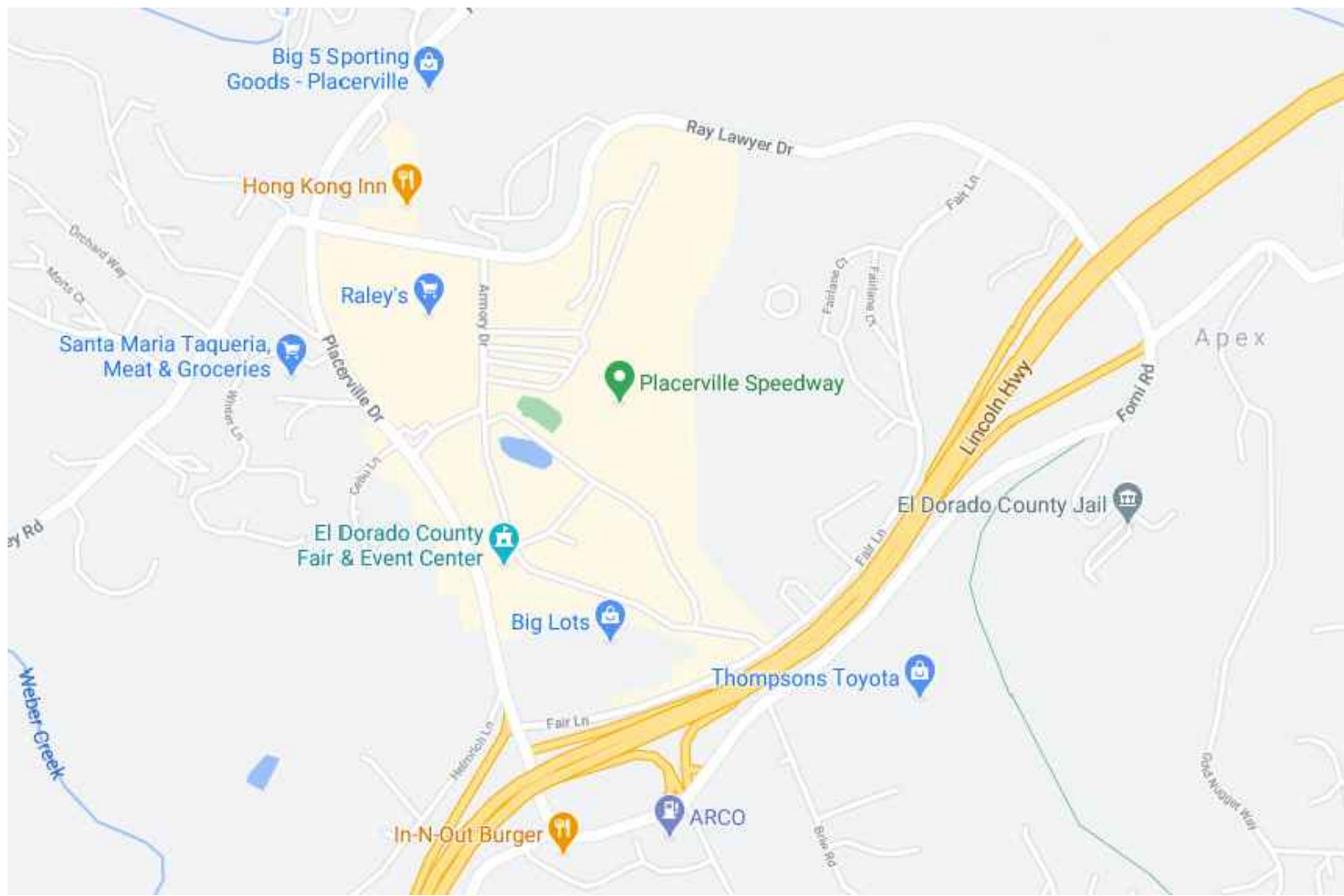
PROJECT DESCRIPTION

A MODIFICATION TO AN (E) VERIZON WIRELESS UNMANNED TELECOMMUNICATION FACILITY CONSISTING OF:

- INSTALLING (2) (N) FRP SCREEN ENCLOSURES
- REMOVING (3) (E) VERIZON WIRELESS ANTENNAS
- INSTALLING (6) (N) VERIZON WIRELESS ANTENNAS
- INSTALLING (N) RAYCAP 4520 SURGE SUPPRESSOR IN (E) MISC RACK @ EQUIPMENT
- INSTALLING (3) (N) RAYCAP 6627 SURGE SUPPRESSORS @ ANTENNAS
- REMOVING (E) RBS 6201 CABINET W/ (6) (E) RUL–01 UNITS & (6) (E) RUS–01 UNITS
- INSTALLING (3) (N) RADIO 4449 UNITS
- INSTALLING (3) (N) RADIO 8843 UNITS
- INSTALLING (3) (N) 12X24 HYBRID CABLES
- INSTALLING (N) CABLE TRAY
- REMOVING (12) (E) $\frac{7}{8}$ " COAX CABLES

DESCRIPTION	QUANTITY
(E) ANTENNAS	3
FINAL ANTENNAS	6
(E) RADIOS	12
FINAL RADIOS	6

VICINITY MAP



DRIVING DIRECTIONS

FROM: 295 PARKSHORE DRIVE, FOLSOM, CA 95630
TO: 2849 RAY LAWYER DRIVE, PLACERVILLE, CA 95667

1. START OUT GOING WEST ON PARKSHORE DR TOWARD FOLSOM BLVD. 0.04 MILES
2. TURN LEFT ONTO FOLSOM BLVD. 0.32 MILES
3. TURN LEFT ONTO BLUE RAVINE RD. 0.66 MILES
4. TURN RIGHT ONTO PRAIRIE CITY RD. 1.13 MILES
5. MERGE ONTO US–50 E TOWARD SOUTH LAKE TAHOE. 19.73 MILES
6. TAKE THE FORNI RD EXIT, EXIT 44B, TOWARD PLACERVILLE DR. 0.12 MILES
7. TAKE THE RAMP TOWARD PLACERVILLE DR/FAIRGROUNDS MUSEUM. 0.05 MILES
8. MERGE ONTO FORNI RD. 0.10 MILES
9. STAY STRAIGHT TO GO ONTO PLACERVILLE DR. 0.57 MILES
10. TURN RIGHT ONTO RAY LAWYER DR. 0.07 MILES

END AT: 2849 RAY LAWYER DRIVE, PLACERVILLE, CA 95667

ESTIMATED TIME: 26 MINUTES ESTIMATED DISTANCE: 22.8 MILES

SHEET INDEX

SHEET	DESCRIPTION	REV
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- | | | |
|-----|----------------------------|---|
| T–1 | TITLE SHEET | – |
| A–1 | SITE PLAN | – |
| A–2 | ANTENNA PLANS | – |
| A–3 | ELEVATIONS | – |
| A–4 | ELEVATIONS | – |
| A–5 | DETAILS | – |
| S–1 | STRUCTURAL NOTES & DETAILS | – |
| S–2 | STRUCTURAL DETAILS | – |

FRP DESIGN BY OTHERS

- | | | |
|----------|--------------------------|---|
| 1 OF 10 | TITLE | – |
| 2 OF 10 | DESIGN CRITERIA | – |
| 3 OF 10 | SCOPE OF WORK | – |
| 4 OF 10 | SECTOR A – SCOPE OF WORK | – |
| 5 OF 10 | SECTOR A – FRP | – |
| 6 OF 10 | SECTOR A – DETAIL | – |
| 7 OF 10 | SECTOR C – SCOPE OF WORK | – |
| 8 OF 10 | SECTOR C – FRP | – |
| 9 OF 10 | SECTOR C – DETAIL | – |
| 10 OF 10 | INSTALLATION | – |

DESIGN CRITERIA

RISK CATEGORY: II	ROOF LIVE LOAD: N/A	FLOOR LIVE LOAD: N/A	ALLOW SOIL BEARING: N/A
WIND EXPOSURE: C	DESIGN WIND SPEED: 94 MPH	GROUND ELEVATION: 1,755'	TOPOGRAPHIC CATEGORY: I
SEISMIC SITE CLASS: D	SEISMIC DESIGN CATEGORY: D	SEISMIC COMPONENT I _p : 1.0	q _p : 1.0 R _p : 2.5
S _{DS} : 0.43	S _D : N/A	S _S : 0.447	S _f : 0.209

PLACERVILLE

160170
2849 RAY LAWYER DRIVE
PLACERVILLE, CA 95667



295 PARKSHORE DRIVE
FOLSOM, CA 95630

Streamline Engineering
and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

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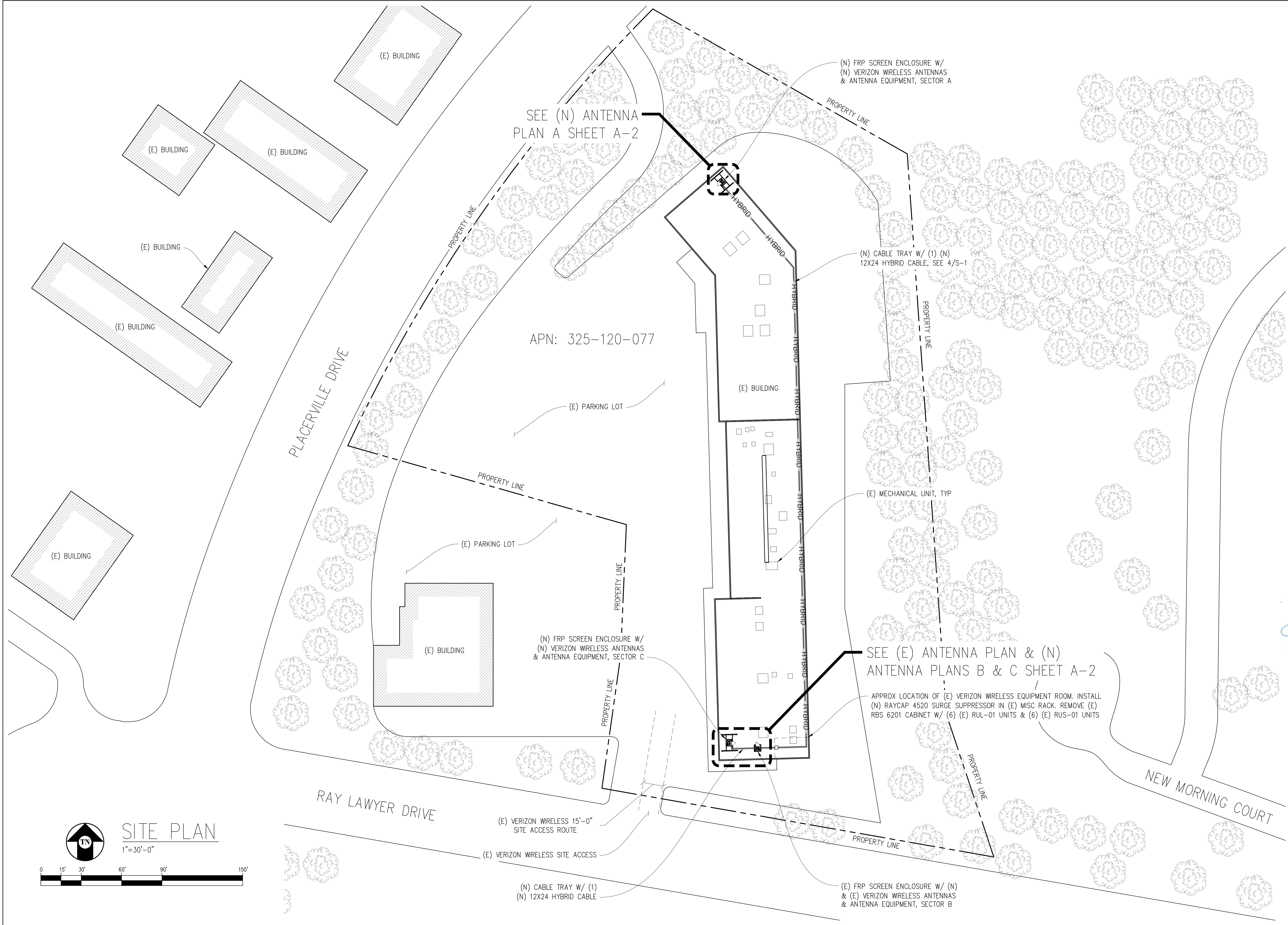
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TITLE SHEET

SHEET NUMBER:

T-1



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verizon

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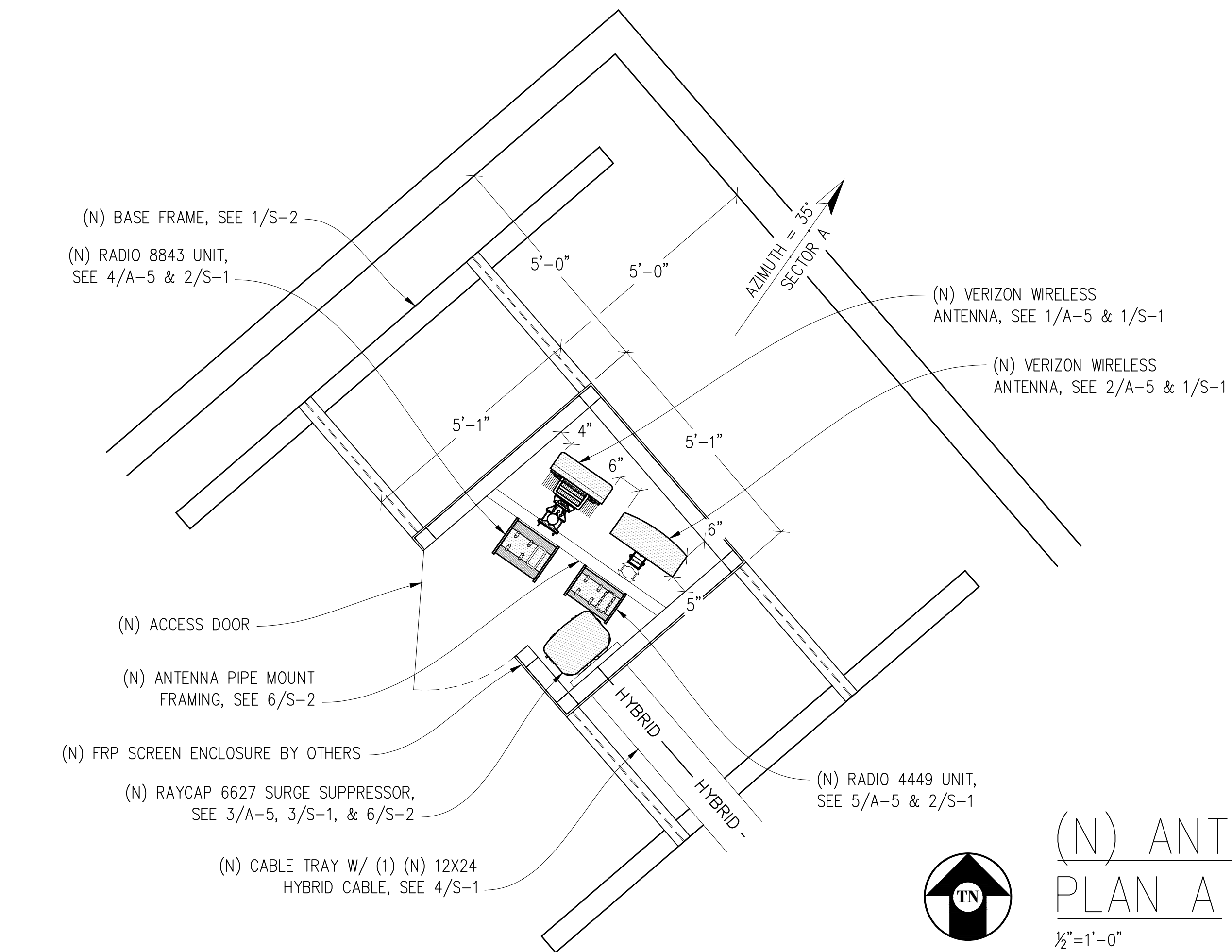
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SITE PLAN

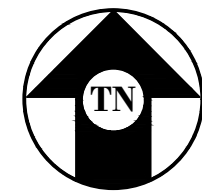
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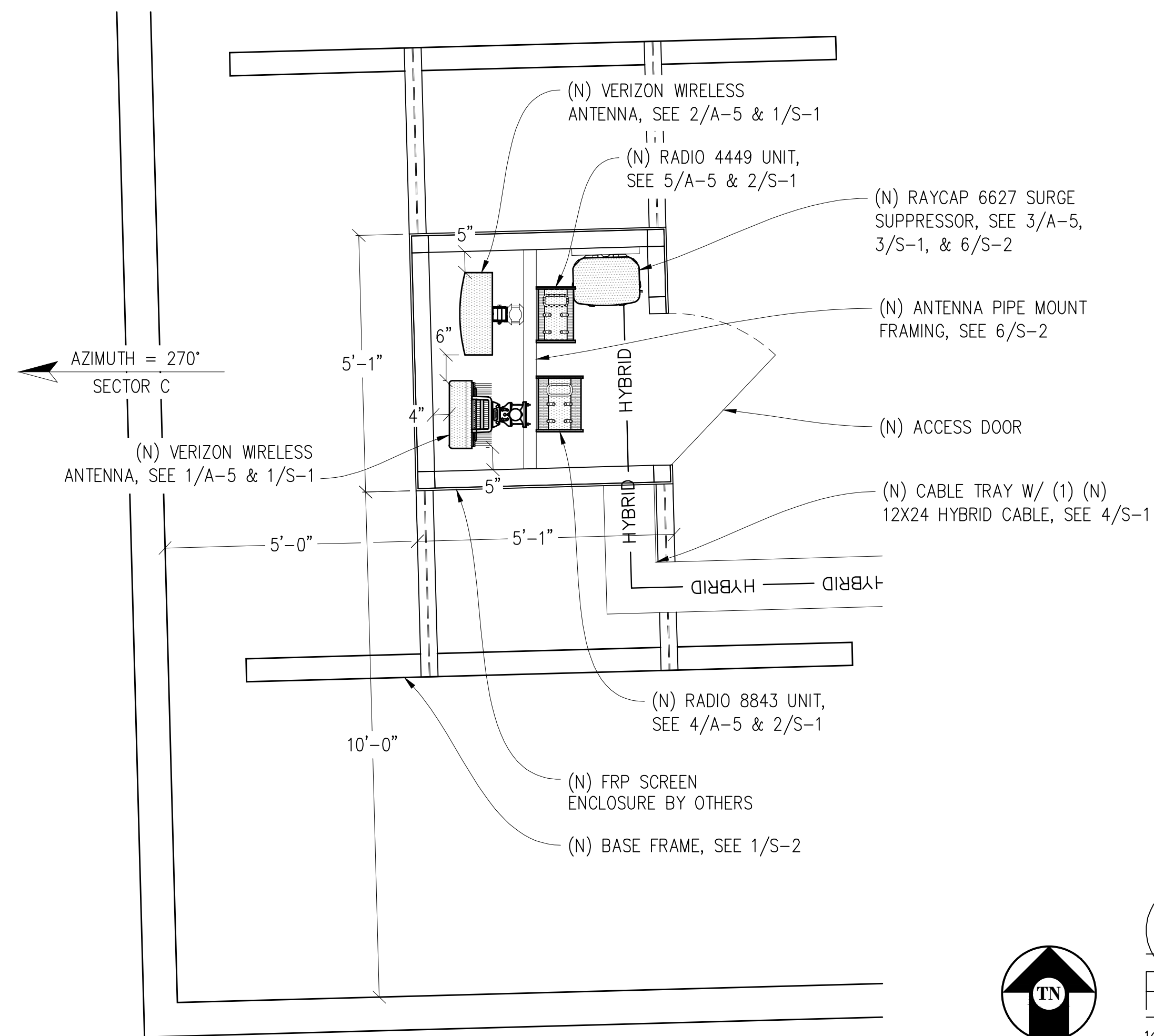
(N) ANTENNA
PLAN A

1/2"=1'-0"



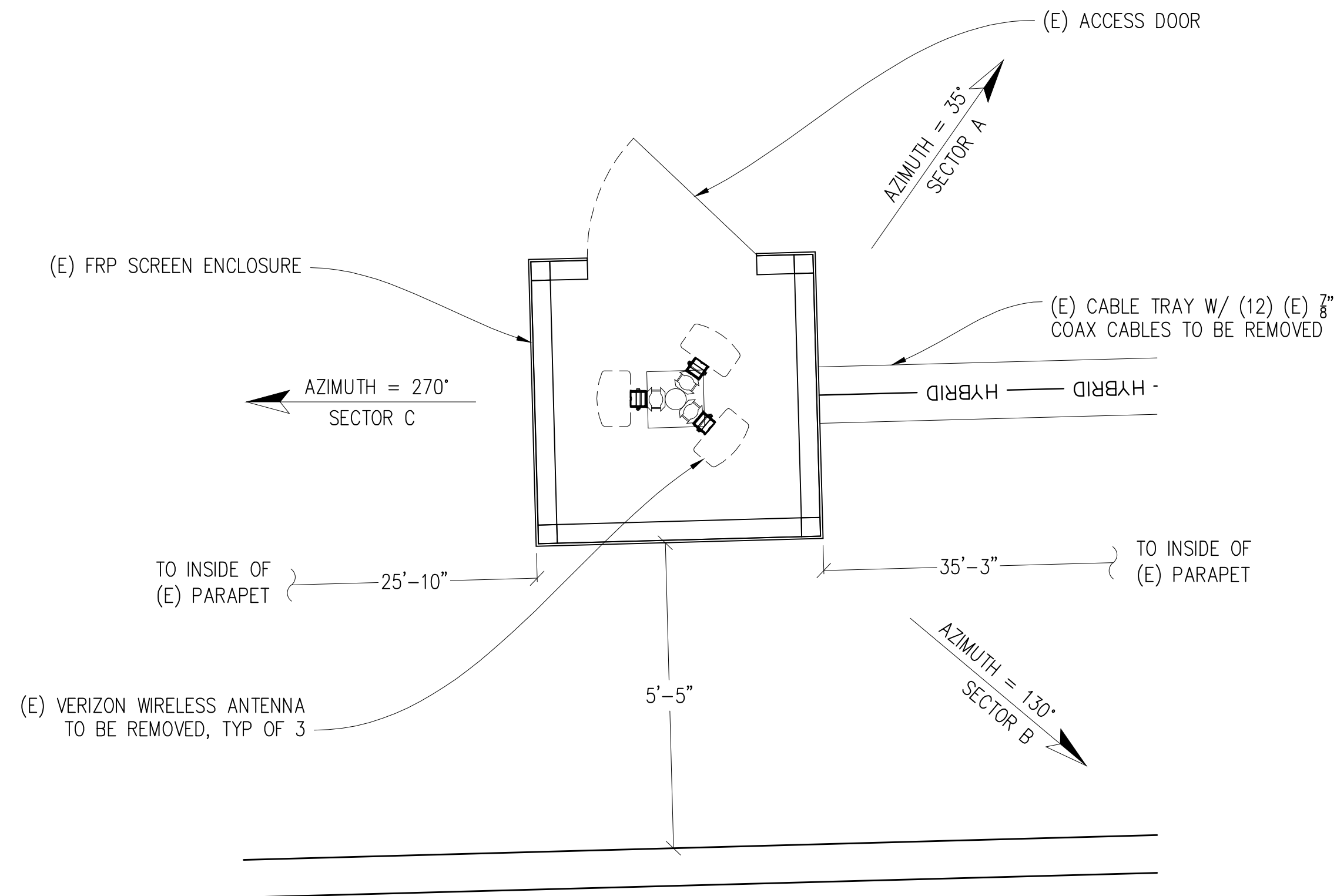
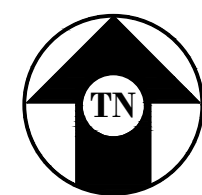
NOTE: PAINT (N) FRP SCREEN ENCLOSURES TO MATCH (E) BUILDING

NOTE:
(E) & (N) FRP ENCLOSURES TO HAVE OPEN TOP & BOTTOM FOR EQUIPMENT AIR FLOW



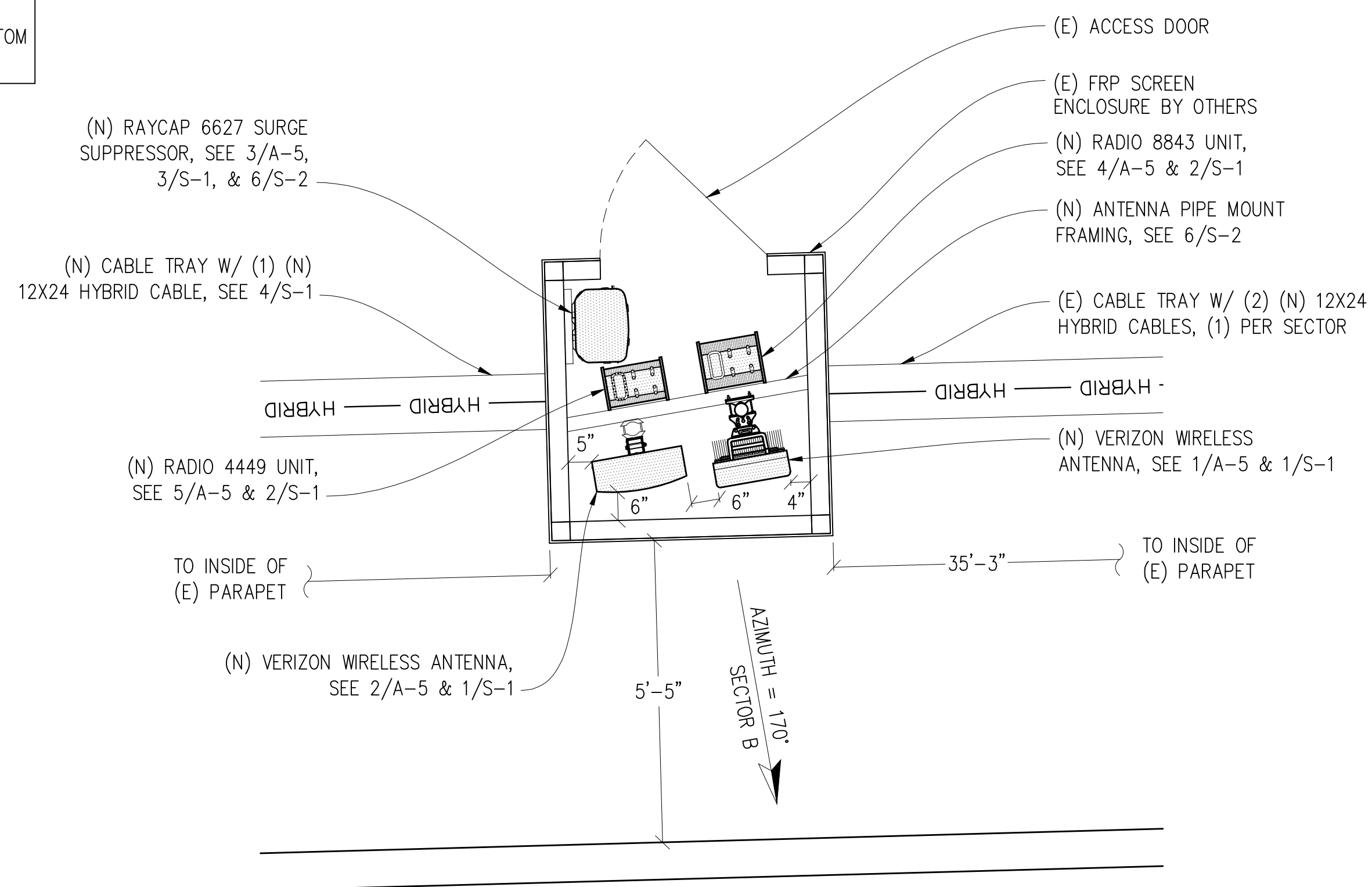
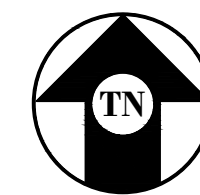
(N) ANTENNA
PLAN C

1/2"=1'-0"



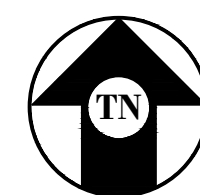
(E) ANTENNA PLAN

1/2"=1'-0"



(N) ANTENNA PLAN B

1/2"=1'-0"



PLACERVILLE

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verizon

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8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
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E-Mail: kevin@streamlineengineering.com Fax: 916-660-1941

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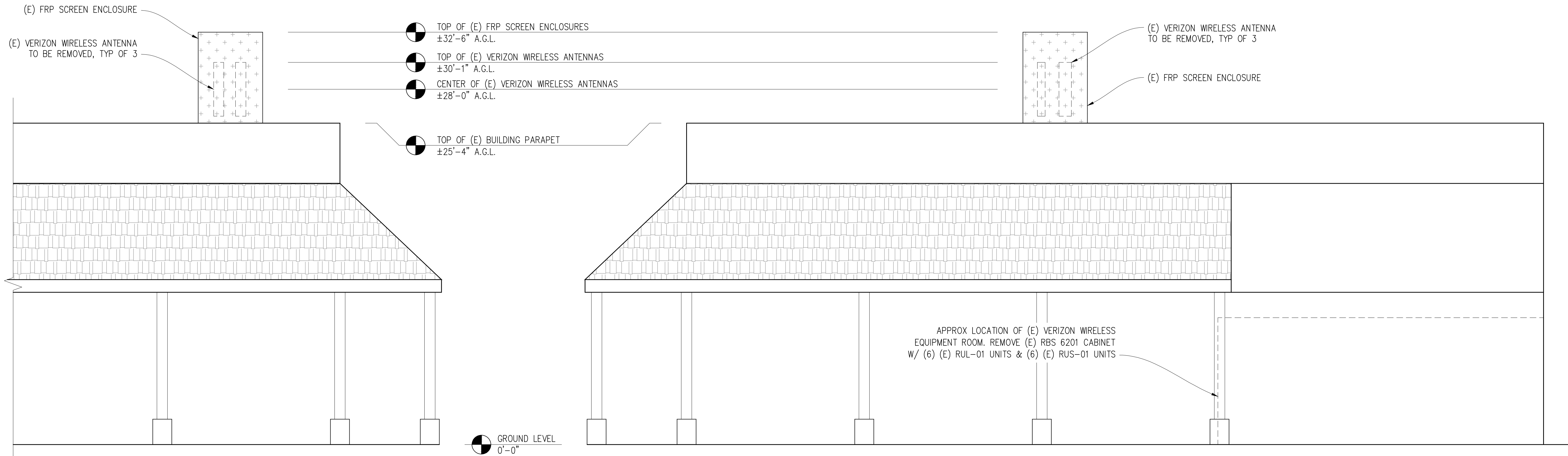
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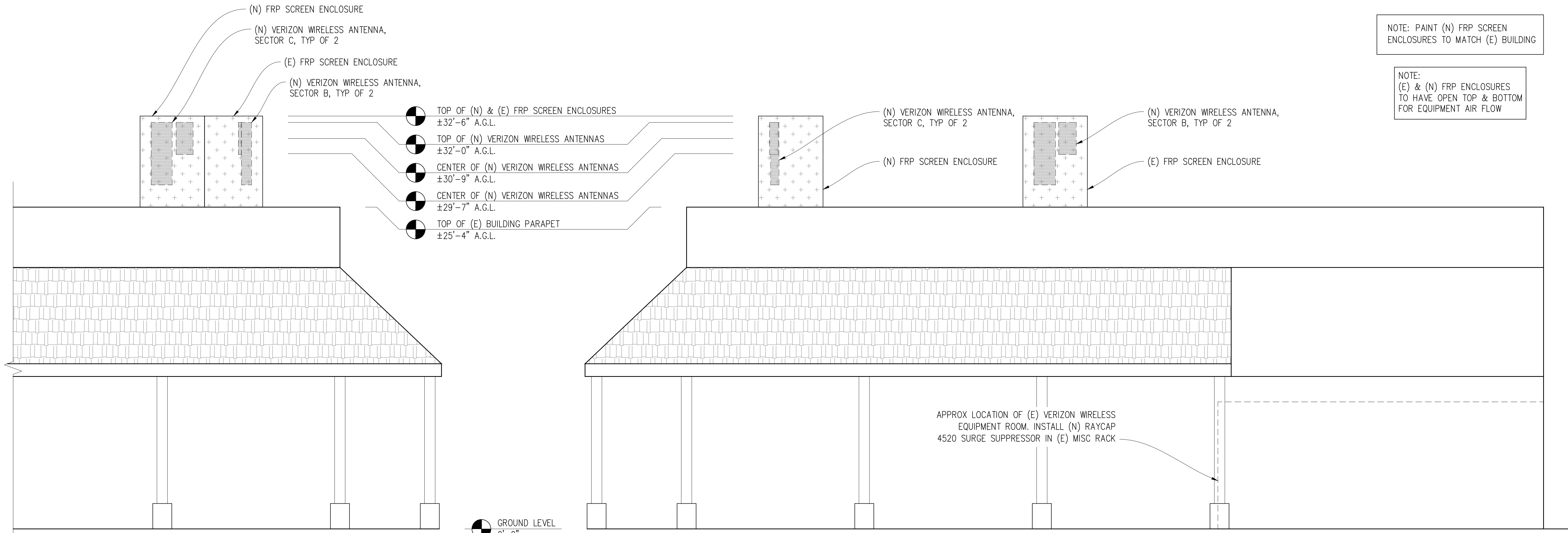
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A-2



(E) WEST ELEVATION
1/4"=1'-0"

(E) SOUTH ELEVATION
1/4"=1'-0"



(N) WEST ELEVATION
1/4"=1'-0"

(N) SOUTH ELEVATION
1/4"=1'-0"

NOTE: PAINT (N) FRP SCREEN ENCLOSURES TO MATCH (E) BUILDING

NOTE: (E) & (N) FRP ENCLOSURES TO HAVE OPEN TOP & BOTTOM FOR EQUIPMENT AIR FLOW

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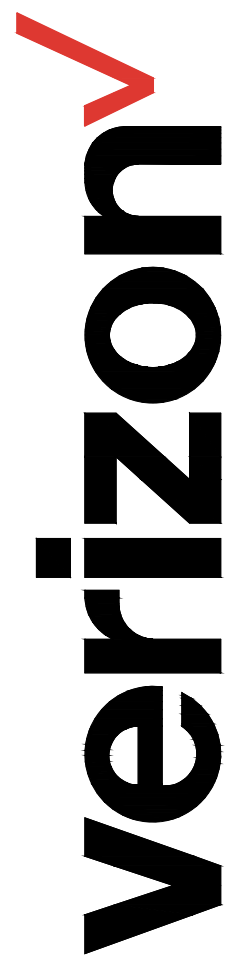
ELEVATIONS

SHEET NUMBER:

A-3

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PLACERVILLE, CA 95667



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DATE: 07/14/21

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-4

(N) VERIZON WIRELESS ANTENNA,
SECTOR B, TYP OF 2

(N) FRP SCREEN ENCLOSURE

(N) VERIZON WIRELESS ANTENNA,
SECTOR B, TYP OF 2

(N) FRP SCREEN ENCLOSURE

- TOP OF (N) FRP SCREEN ENCLOSURE
±34'-4" A.G.L.
- TOP OF (N) VERIZON WIRELESS ANTENNAS
±33'-10" A.G.L.
- CENTER OF (N) VERIZON WIRELESS ANTENNA
±32'-7" A.G.L.
- CENTER OF (N) VERIZON WIRELESS ANTENNA
±31'-4" A.G.L.
- TOP OF (E) BUILDING PARAPET
±27'-4" A.G.L.

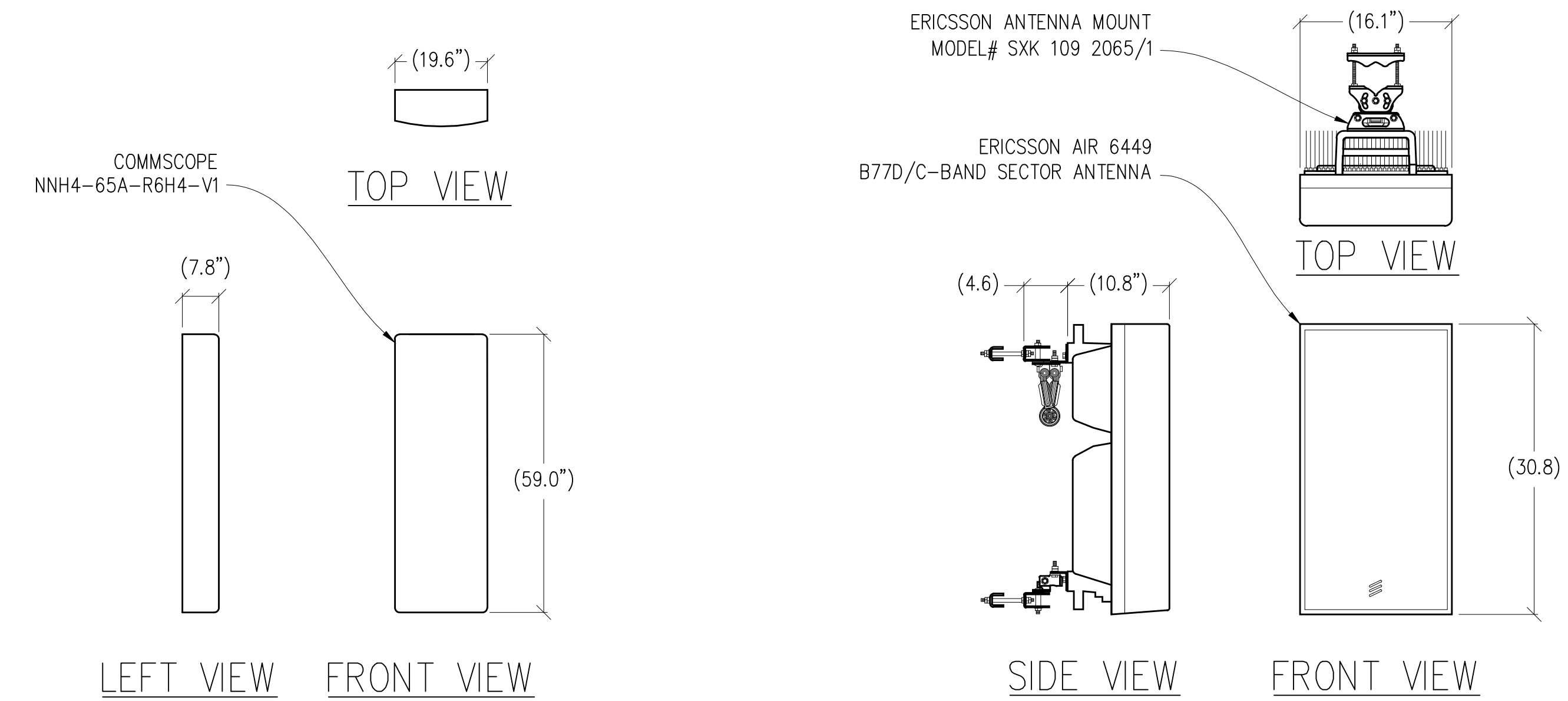
GROUND LEVEL
0'-0"

(N) NORTHEAST ELEVATION
¼"=1'-0"

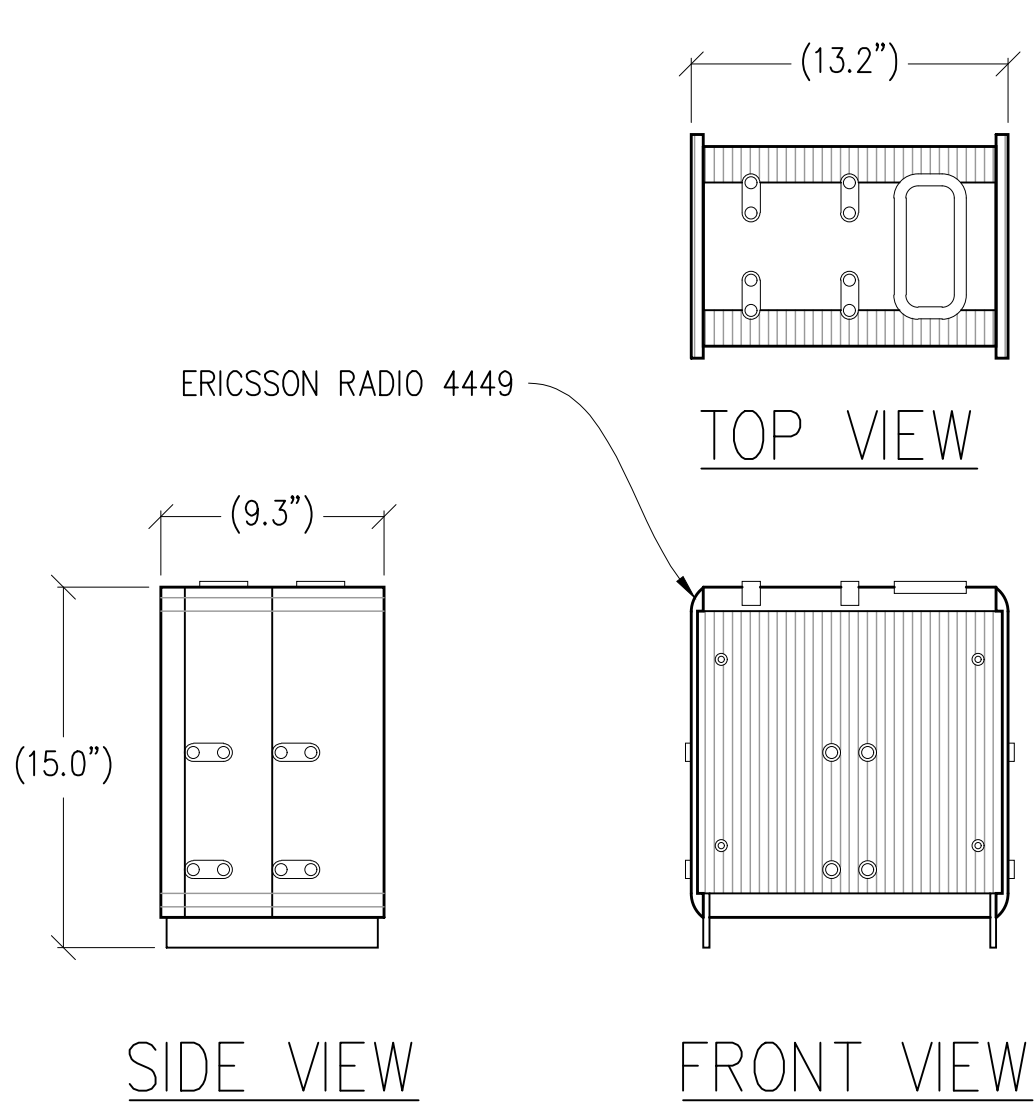
(N) NORTHWEST ELEVATION
¼"=1'-0"

NOTE: PAINT (N) FRP SCREEN
ENCLOSURES TO MATCH (E) BUILDING

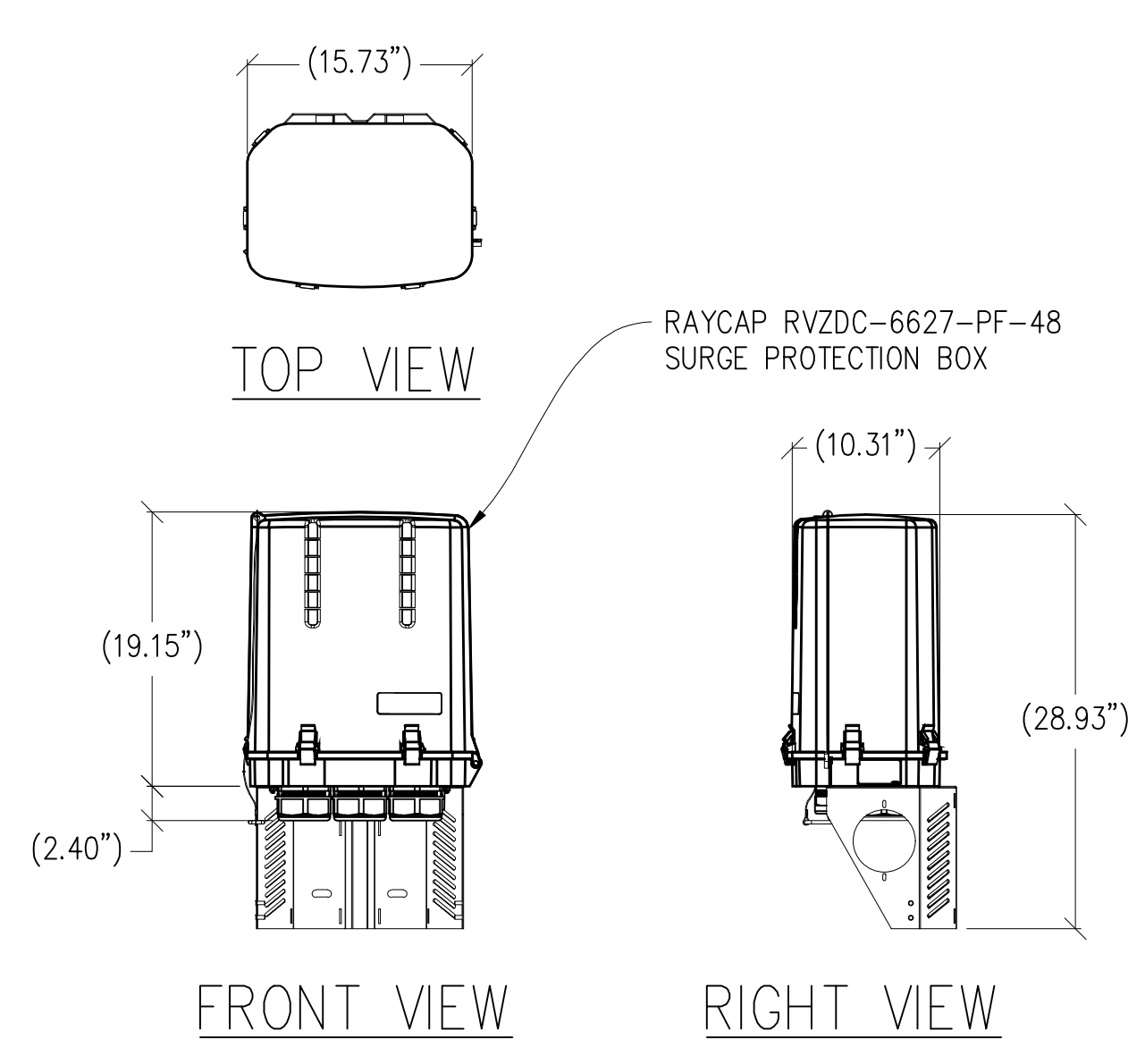
NOTE:
(E) & (N) FRP ENCLOSURES
TO HAVE OPEN TOP & BOTTOM
FOR EQUIPMENT AIR FLOW



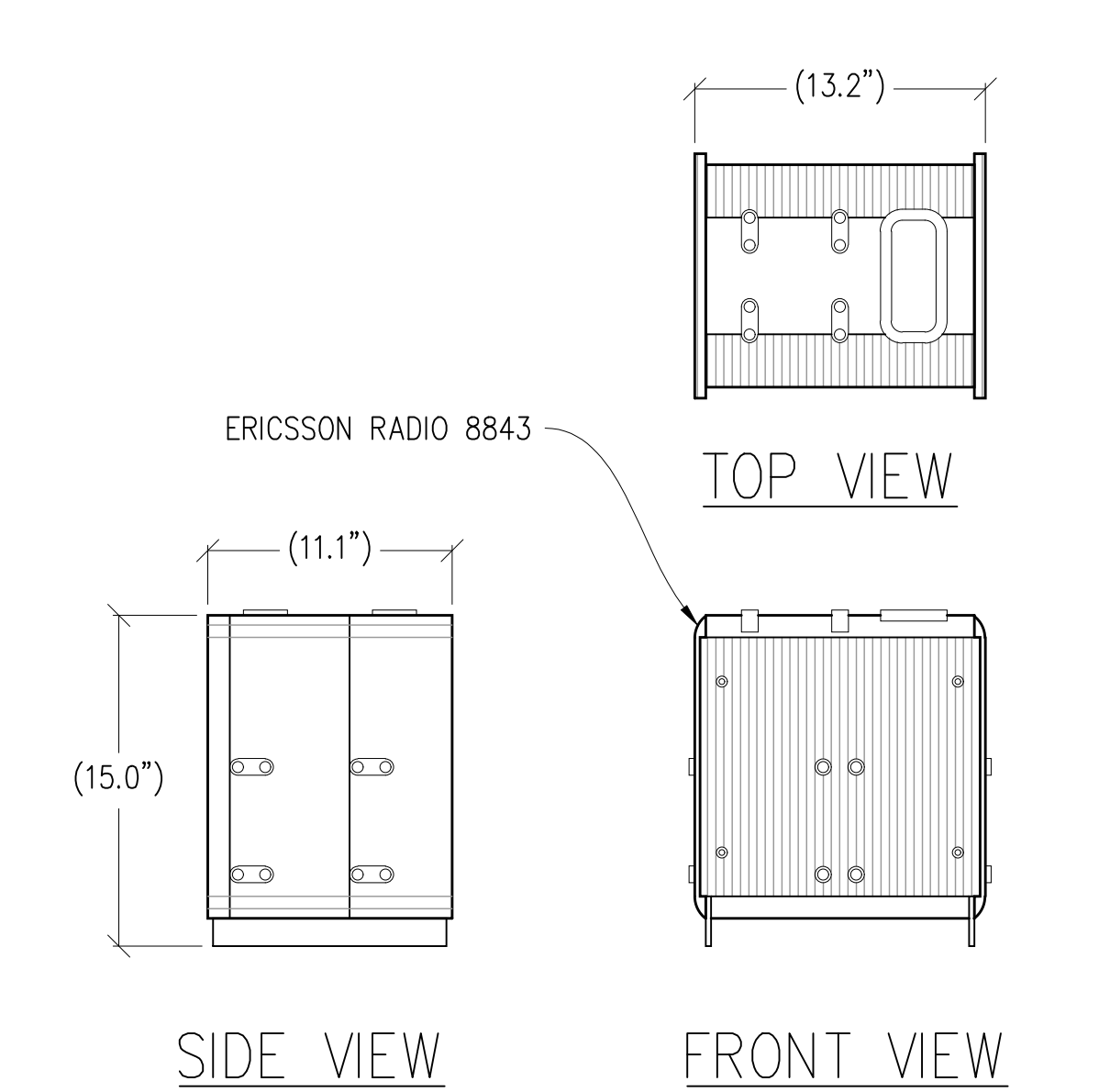
1 ANTENNA DETAIL
1/2"=1' MAX WEIGHT: 73.9 LBS



5 RADIO 4449 DETAIL
1/2"=1'-0" MAX WEIGHT: 70 LBS



3 SURGE PROTECTION BOX
1"=1'-0" MAX WEIGHT: 32.0 LBS



4 RADIO 8843 DETAIL
1/2"=1'-0" MAX WEIGHT: 75 LBS

PLACERVILLE

160170
2849 RAY LAWYER DRIVE
PLACERVILLE, CA 95667

285 PARKSHORE DRIVE
FOLSOM, CA 95630

8445 Sierra College Blvd. Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

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ISSUE STATUS

△	DATE	DESCRIPTION	REV.
	02/22/21	CD 90%	-
	07/14/21	CD 100%	C.C.
	-	-	-
	-	-	-
	-	-	-
	-	-	-

DRAWN BY: -

CHECKED BY: S. SAVIG

APPROVED BY: J. ANDERSON

DATE: 07/14/21

SHEET TITLE:

DETAILS

SHEET NUMBER:

A-5

PROJECT GENERAL NOTES

1. THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.
2. PLANS ARE NOT TO BE SCALED & ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE.
3. THE SCOPE OF WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES & LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
4. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE & BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS & DIMENSIONS, & CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER & ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR PERMIT FEES, & TO OBTAIN SAID PERMITS & TO COORDINATE INSPECTIONS.
6. THE CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
7. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL 811 (NATIONWIDE "CALL BEFORE YOU DIG" HOTLINE) AT LEAST 72 HOURS BEFORE DIGGING.
8. ALL WORK PERFORMED & MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, & ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES & COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS & LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
9. THE GENERAL CONTRACTOR SHALL SUPERVISE & DIRECT THE WORK USING THE BEST SKILLS & ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES & PROCEDURES. CONTRACTOR SHALL ALSO COORDINATE ALL PORTIONS OF THE WORK UNDER THE CONTRACT; INCLUDING CONTACT & COORDINATION WITH THE CONSTRUCTION MANAGER & WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
10. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., & UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER.
11. KEEP GENERAL AREA CLEAN, HAZARD FREE, & DISPOSE OF ALL DIRT, DEBRIS & RUBBISH. REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION & FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
12. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, & OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED, OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, & SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
13. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC & ALL OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES.
14. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, & SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
15. THE CONTRACTOR SHALL PROVIDE A TOILET FACILITY DURING ALL PHASES OF CONSTRUCTION.
16. SUFFICIENT MONUMENTATION WAS NOT RECOVERED TO ESTABLISH THE POSITION OF THE BOUNDARY LINES SHOWN HEREON. THE BOUNDARY REPRESENTED ON THIS MAP IS BASED ON COMPILED RECORD DATA & BEST FIT ONTO EXISTING IMPROVEMENTS. IT IS POSSIBLE FOR THE LOCATION OF THE SUBJECT PROPERTY TO SHIFT FROM THE PLACEMENT SHOWN HEREON WITH ADDITIONAL FIELD WORK & RESEARCH. THEREFORE ANY SPATIAL REFERENCE MADE OR SHOWN BETWEEN THE RELATIONSHIP OF THE BOUNDARY LINES SHOWN HEREON & EXISTING GROUND FEATURES, EASEMENTS OR LEASE AREA IS INTENDED TO BE APPROXIMATE & IS SUBJECT TO VERIFICATION BY RESOLVING THE POSITION OF THE BOUNDARY LINES.
17. THE CONTRACTOR TO VERIFY THE LATEST/CURRENT RF DESIGN.
18. WHERE APPLICABLE, CONTRACTOR SHALL PROVIDE SEPARATE PLANS, SPECIFICATIONS, FEES & PERMITS FOR ANY REVISION TO ANY FIRE SPRINKLER AND/OR ALARM SYSTEM ON THE PREMISES AS MAY BE NEEDED TO COMPLETE THE WORK DEPICTED HEREIN, USING A C-10 LICENSED SUBCONTRACTOR FOR ALL SUCH WORK.

FRAMING NOTES

1. ALL JOINTS AND PENETRATIONS SHALL BE CAULKED AND SEALED.
2. ALL 2X OR 4X FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BTR, 6X DOUGLAS FIR # 1 OR BTR UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR USE LUMBER SHALL BE PRESSURE TREATED W/ FASTENERS HDG & METAL CONNECTORS G135 OR BETTER AS REQUIRED FOR CORROSION RESISTANCE TO THE PRESERVATIVE TYPE USED.
4. ALL STRUCTURAL CONNECTORS SHALL BE AS SPECIFIED OR AN EQUIVALENT.
5. NAILING SHALL CONFORM WITH THE REQUIREMENTS OF THE 2019 CBC UNLESS OTHERWISE NOTED. DRAWING SPECIFIC CALLOUTS SUPERCEDE CODE NAILING REQUIREMENTS
6. HOLES FOR BOLTS IN WOOD SHALL BE BORED WITH A BIT OF THE SAME NOMINAL DIAMETER AS THE BOLT PLUS 1/16".
7. HOLES FOR LAG SCREWS 3/8" OR GREATER SHALL BE BORED AS FOLLOWS:
 - A. THE CLEARANCE HOLE FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK, AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK.
 - B. THE LEAD HOLE FOR THE THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 75% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION.
 - C. LAG SCREWS AND WOOD SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE. PROVIDE LIQUID SOAP AS REQUIRED TO LUBRICATE LAG SCREWS DURING INSTALLATION.
8. LAG SCREWS SHALL BE GALVANIZED ASTM A307 MINIMUM. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS.

CONSTRUCTION NOTES

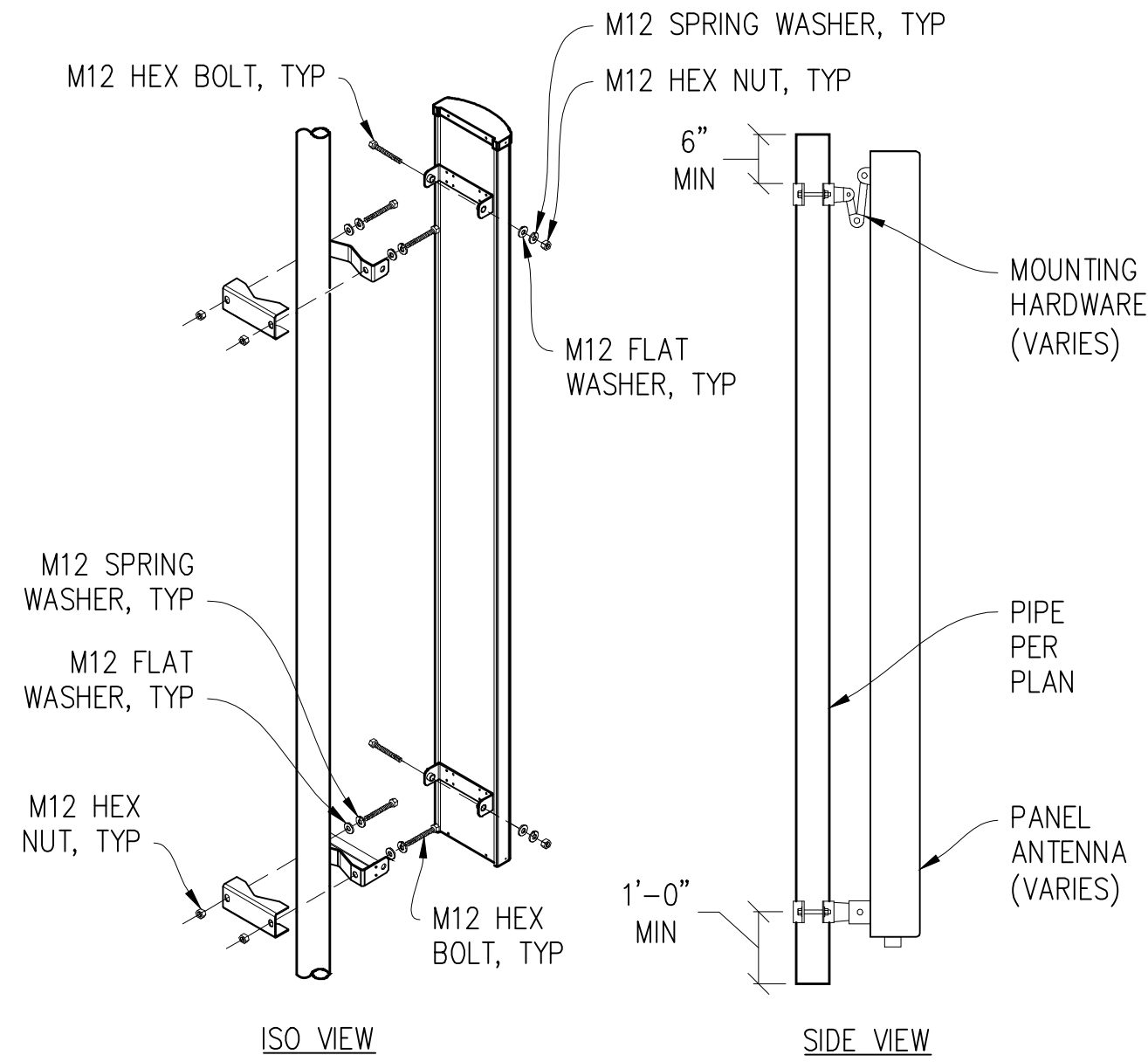
1. EXISTING BUILDING CONSTRUCTION CONDITIONS INDICATED ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION OR ORDERING OF MATERIALS. IF EXISTING CONDITIONS DO NOT ALLOW FOR DETAILS OF CONSTRUCTION AS SHOWN ON THESE DRAWINGS, NOTIFY ENGINEER OF RECORD FOR RESOLUTION PRIOR TO PROCEEDING. CONTRACTOR SHALL EXPOSE AND REVIEW EXISTING CONDITIONS IN A TIMELY MANNER SUCH THAT ALTERNATE DESIGNS OR DETAILS, IF REQUIRED, MAY BE GENERATED WITHOUT DELAY TO THE PROJECT.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL NOT ALTER, DAMAGE OR REMOVE ANY PART OF THE EXISTING STRUCTURE UNLESS SPECIFICALLY DETAILED ON THESE DRAWINGS.
3. THE INTENT OF THESE DRAWINGS IS THAT THE WORK OF THE ADDITION, ALTERATION, REHABILITATION, OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH THE 2019 CBC. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NONCOMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH THE 2019 CBC, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE PREPARED AND SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO PROCEEDING WITH THE WORK.
4. ALL WORK AND MATERIALS SHOWN ARE NEW UNLESS INDICATED AS EXISTING (E).
5. IT MAY BE NECESSARY TO REMOVE ARCHITECTURAL FINISHES, PLUMBING PIPES AND FIXTURES, ELECTRICAL CONDUIT, FIXTURES, PANELS, BOXES, TELEPHONE OR FIRE ALARM WIRING AND FIXTURES OR OTHER NON-STRUCTURAL ITEMS TO INSTALL STRUCTURAL WORK AND MATERIALS SHOWN ON THESE DRAWINGS. SUCH ITEMS SHALL BE REMOVED, REPAIRED AND/OR REPLACED TO MATCH PRE-CONSTRUCTION CONDITIONS AT THE CONTRACTORS EXPENSE.
6. ALL WEATHER PROOFING. INCLUDING BUT NOT LIMITED TO TORCH DOWN, CAULKING, Z-FLASHING OR ANY OTHER MATERIAL THAT MAY BE ALTERED DURING INSTALLATION SHALL BE REPAIRED REPLACED AND/OR MODIFIED TO ENSURE THE BUILDING AT THE INSTALLATION SITE IS WEATHER PROOF.
7. ANY PROPOSED SUBSTITUTIONS FOR STRUCTURAL MEMBERS, HARDWARE, ANCHOR TYPES, OR DETAILING INDICATED IN THESE DRAWINGS SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO ORDERING MATERIALS. SUCH REVIEW SHALL BE BILLED ON A TIME AND MATERIALS BASIS TO THE CONTRACTOR WITH NO GUARANTEE THAT THE SUBSTITUTION WILL BE ALLOWED.
8. CONTRACTOR SHALL ENSURE ALL ROOF AREAS HAVE POSITIVE SLOPE TO ALL EXISTING ROOF DRAINS. PROVIDE ADDITIONAL CRICKETS OR BUILD UP ROOFING AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AROUND ALL NEW CONSTRUCTION INCLUDING ANY CURBS, SLEEPERS, SUPPORT BASES, ETC.

STRUCTURAL STEEL NOTES

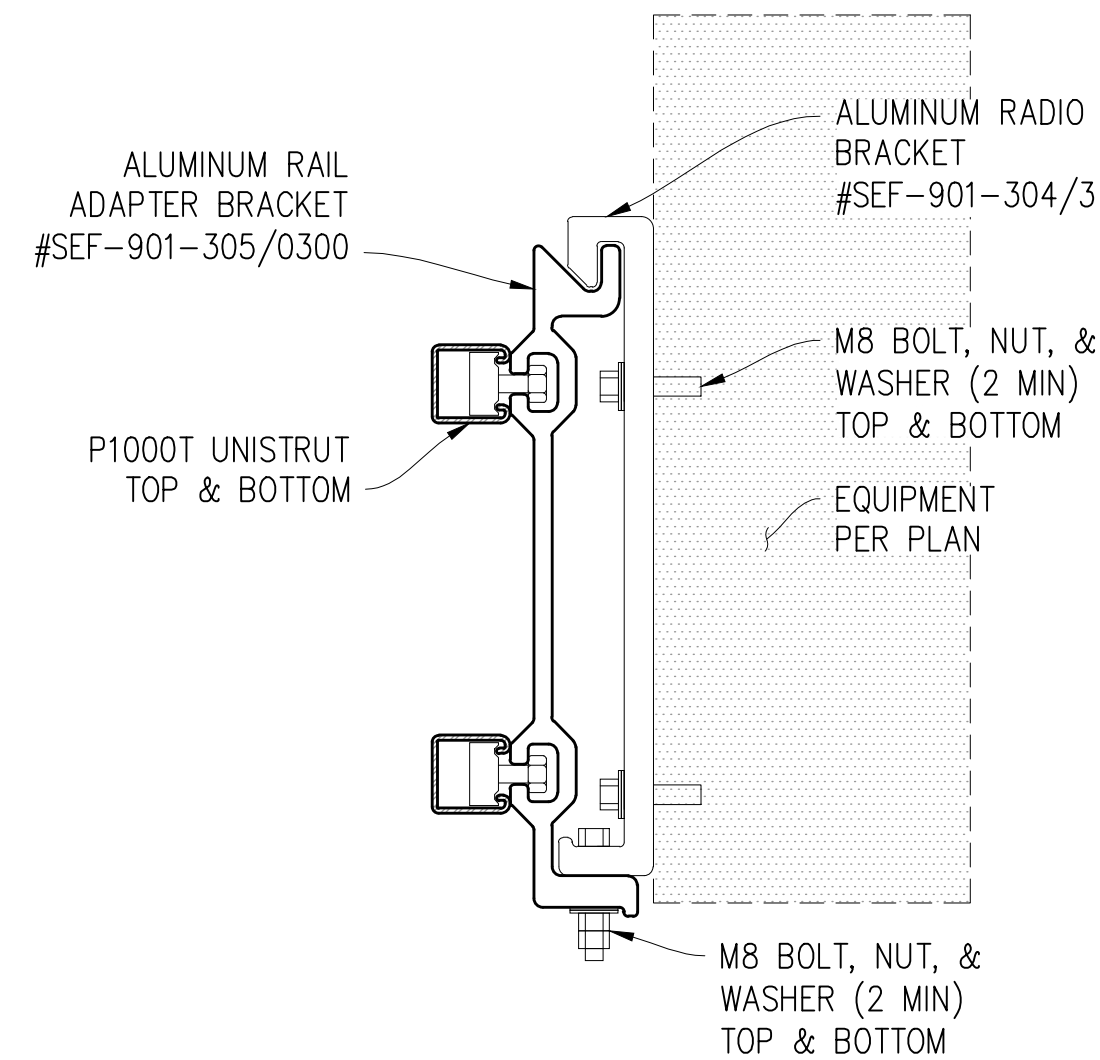
1. ALL STEEL CONSTRUCTION INCLUDING FABRICATION, ERECTION AND MATERIALS SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2016 AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE 2019 CBC.
2. ALL STRUCTURAL STEEL SHALL BE ASTM A36 UNLESS OTHERWISE NOTED. ALL WF (WIDE FLANGE) & WT (TEE) SHAPES TO BE ASTM A992 (Fy=50,000 PSI) UNLESS NOTED OTHERWISE. ALL STRUCTURAL TUBING (TS OR HSS) SHALL BE ASTM A500 GRADE B (Fy=46,000 PSI). ALL STEEL PIPE SHALL BE ASTM A53 (TYPE E OR S, GRADE B (Fy=35,000 PSI)) SCHEDULE 40 WITH OUTSIDE DIAMETERS GIVEN UNLESS OTHERWISE NOTED.
3. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES UNLESS OTHERWISE NOTED AND SHALL CONFORM TO AISC & AWS D1.4. WHERE FILLET WELD SIZES ARE NOT SHOWN PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC SPECIFICATION. PAINTED SURFACES SHALL BE TOUCHED UP.
4. ALL WELDING SHALL BE PERFORMED BY QUALIFIED, CERTIFIED WELDERS.
5. BOLTS SHALL BE GALVANIZED ASTM F3125/F3125M GRADE A325 MINIMUM. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS. SPECIAL INSPECTION IS REQUIRED FOR HIGH STRENGTH BOLTS.
6. THREADED RODS SHALL BE ASTM F1554, GR 36 U.O.N. BOLTED CONNECTIONS SHALL BE BEARING TYPE. SEE PLANS FOR LOCATION, NUMBER, & SIZE OF BOLTS.
7. ALL HOLES FOR BOLTED CONNECTIONS SHALL BE 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. USE STANDARD AISC GAGE AND PITCH FOR BOLTS EXCEPT AS NOTED OTHERWISE. HOLES FOR ANCHOR BOLTS IN BASE PLATES MAY BE AISC "OVERSIZE" HOLES WHERE ACCOMPANIED BY OVERSIZED HARDENED HOT DIPPED GALVANIZED WASHERS.
8. ALL SHOP FABRICATED STEEL STRUCTURAL MEMBERS FOR EXTERIOR USE SHALL BE HOT DIP GALVANIZED PER ASTM A123 AFTER FABRICATION & PAINTED PER CUSTOMER SPECIFICATIONS AS REQUIRED. STEEL FOR INTERIOR USE SHALL BE SHOP COAT OR GALVANIZED & PAINTED PER PLAN.
9. ALL FIELD FABRICATED GALVANIZED STEEL THAT IS CUT, GROUND, DRILLED, WELDED OR DAMAGED SHALL BE TREATED WITH "ZINC RICH" COLD GALVANIZING SPRAY OR COATING. NO RAW STEEL SHALL BE EXPOSED.
10. AT ALL WEB STIFFENER PLATES LEAVE 3/4"Ø (OR K, WHICHEVER IS LARGER) HOLE @ WEB/FLANGE INTERSECTION UNLESS NOTED OTHERWISE.
11. BOLTS AND NUTS AT ANTENNA & RRU MOUNTS TO BE ASTM F3125/F3125M GRADE A325 WITH A194M NUTS U.O.N.
12. ALL NUTS SHALL BE ASTM A563/A563M ALL WASHERS SHALL BE ASTM F436/ F436M.
13. ALL STRUT MEMBERS USED IN EXTERIOR APPLICATIONS SHALL BE HOT DIPPED GALVANIZED PER ASTM A123 OR ASTM A153.
14. ALL STAINLESS STEEL BOLTED CONNECTIONS SHALL BE ASTM F593-17 ALLOY GROUP 1 OR 2 AND STAINLESS STEEL NUTS SHALL BE ASTM F594-09 (2015).

ROOFING & WATERPROOFING NOTES:

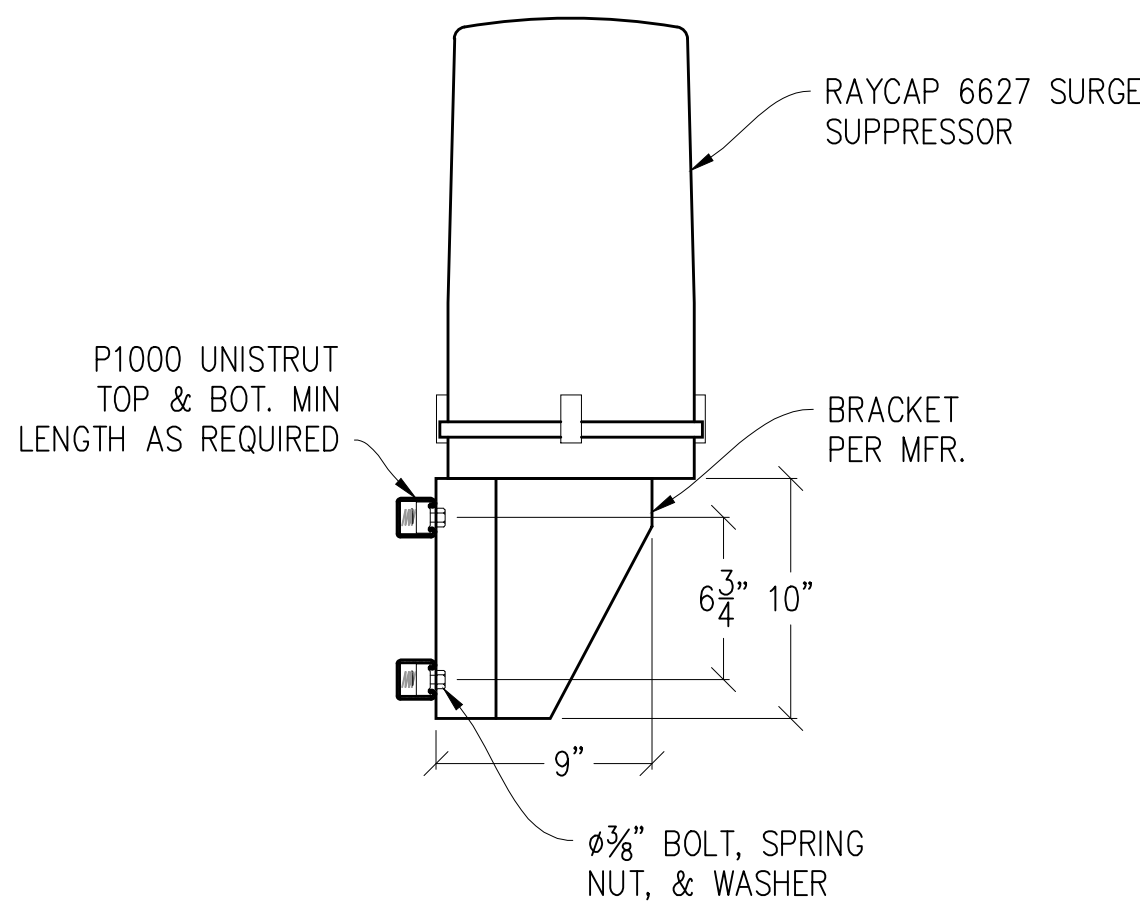
1. CONTRACTOR SHALL JOINTLY GUARANTEE THE FINISHED INSTALLATION AS WEATHER TIGHT AND FREE DRAINING ON COMPLETION DIRECTLY TO THE BUILDING OWNER & TO THE WIRELESS CARRIER FOR ALL WORK SHOWN HEREIN.
2. ALL WORK SHALL BE PERFORMED IN SUB-UNITS SUCH THAT CUT OPEN WEATHERPROOFING SYSTEMS ARE REPAIRED PERMANENTLY OR TEMPORARILY IN DEFENSE OF ANY INCLEMENT WEATHER AS MAY OCCUR DURING CONSTRUCTION.
3. WHEREVER PENETRATION OF PROPRIETARY WEATHERPROOFING SYSTEMS OCCURS, THE CONTRACTOR SHALL EMPLOY SUBCONTRACTORS APPROVED FOR APPLICATION OF SAID SYSTEM AND WITH MINIMUM OF 3 YEARS EXPERIENCE WITH THE APPLICABLE PRODUCT(S) AND ITS(THEIR) APPLICATION (e.g. DRY-VIT, GAKO-FLEX DECKING &/OR ROOFING, SINGLE-PLY ROOFING SYSTEMS (VARIOUS), ETC.).
4. WHERE APPLICABLE THE CONTRACTOR SHALL EMPLOY THE BUILDING OWNER'S ROOFING CONTRACTOR FOR ALL PATCHWORK.
5. CONTRACTOR IS RESPONSIBLE TO INVESTIGATE ALL WEATHERPROOFING REQUIREMENTS FOR THE WORK SHOWN HEREIN PRIOR TO SUBMITTING A BID, AND SHALL NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES IN DETAILS SHOWN THAT MAY RESULT IN SUBSTANDARD WEATHERPROOFING IN THE FINISHED ASSEMBLY.
6. CONTRACTOR SHALL ENSURE ALL ROOF AREAS HAVE POSITIVE SLOPE TO ALL EXISTING ROOF DRAINS. PROVIDE ADDITIONAL CRICKETS OR BUILD UP ROOFING AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AROUND ALL NEW CONSTRUCTION INCLUDING ANY CURBS, SLEEPERS, SUPPORT BASES, ETC.



1 ANTENNA MOUNT
1"=1'-0"

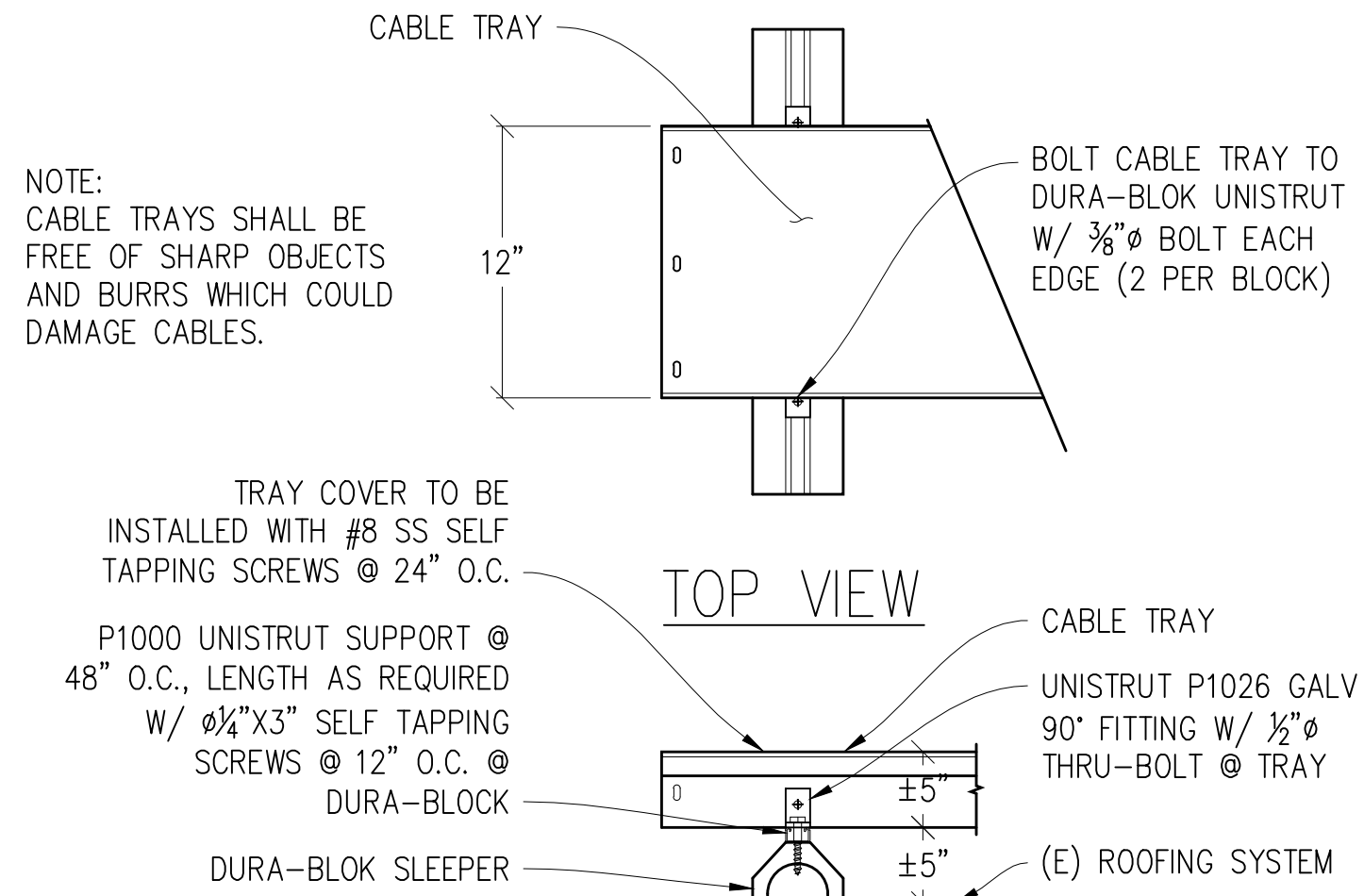


2 EQUIPMENT MOUNTING
3"=1'-0"



LEFT VIEW

3 SURGE UNISTRUT MOUNT
1 1/2"=1'-0"

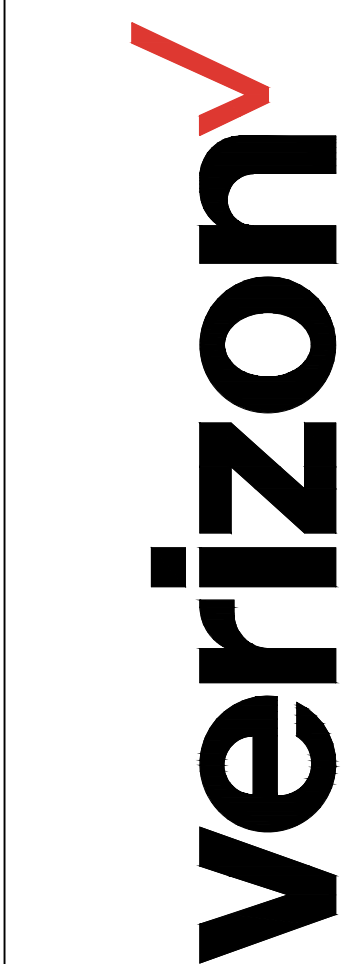


SIDE VIEW

4 CABLE TRAY DETAIL
1"=1'-0"

PLACERVILLE

160170
2849 RAY LAWYER DRIVE
PLACERVILLE, CA 95667



285 PARKSHORE DRIVE
FOLSOM, CA 95630

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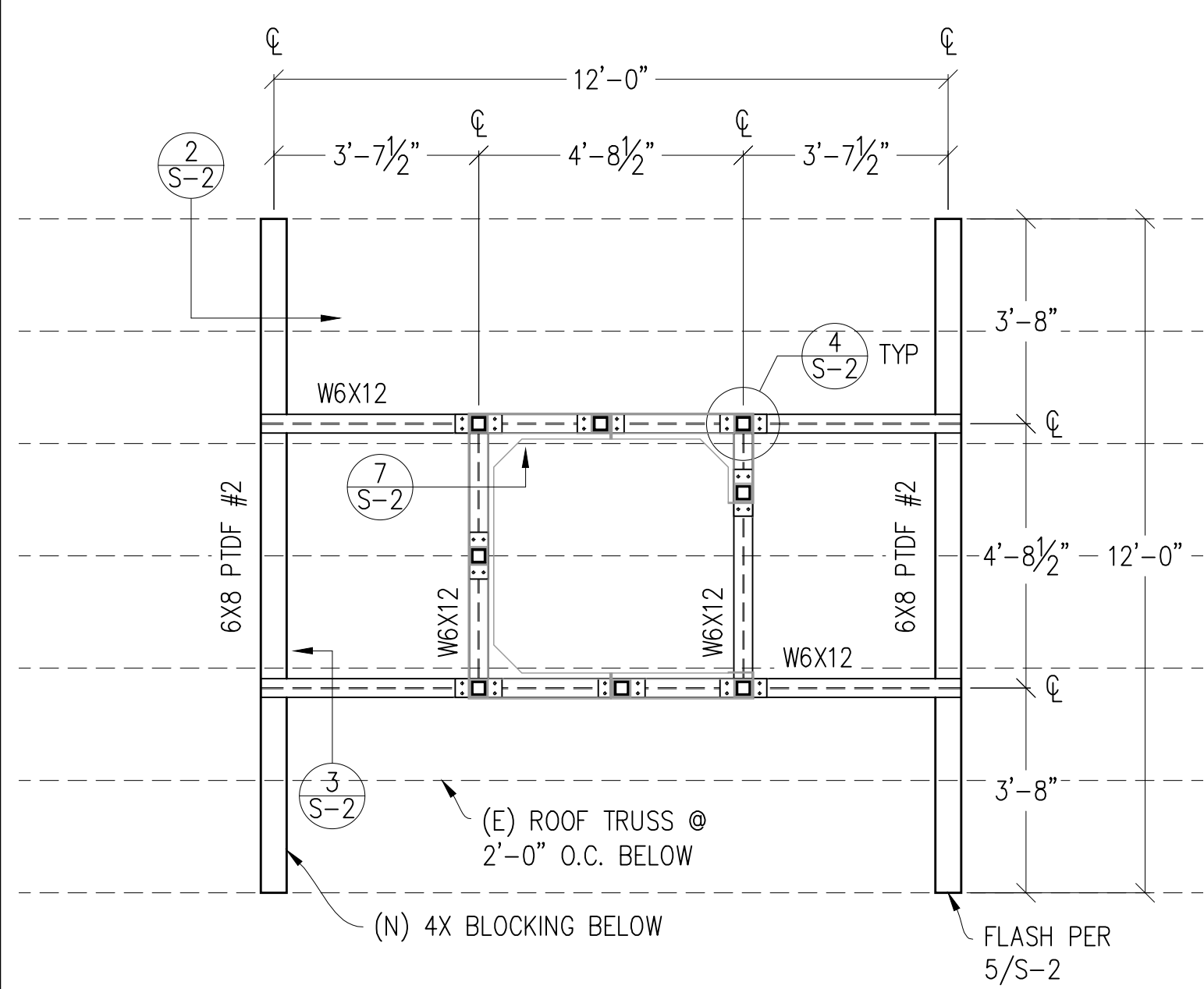
8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

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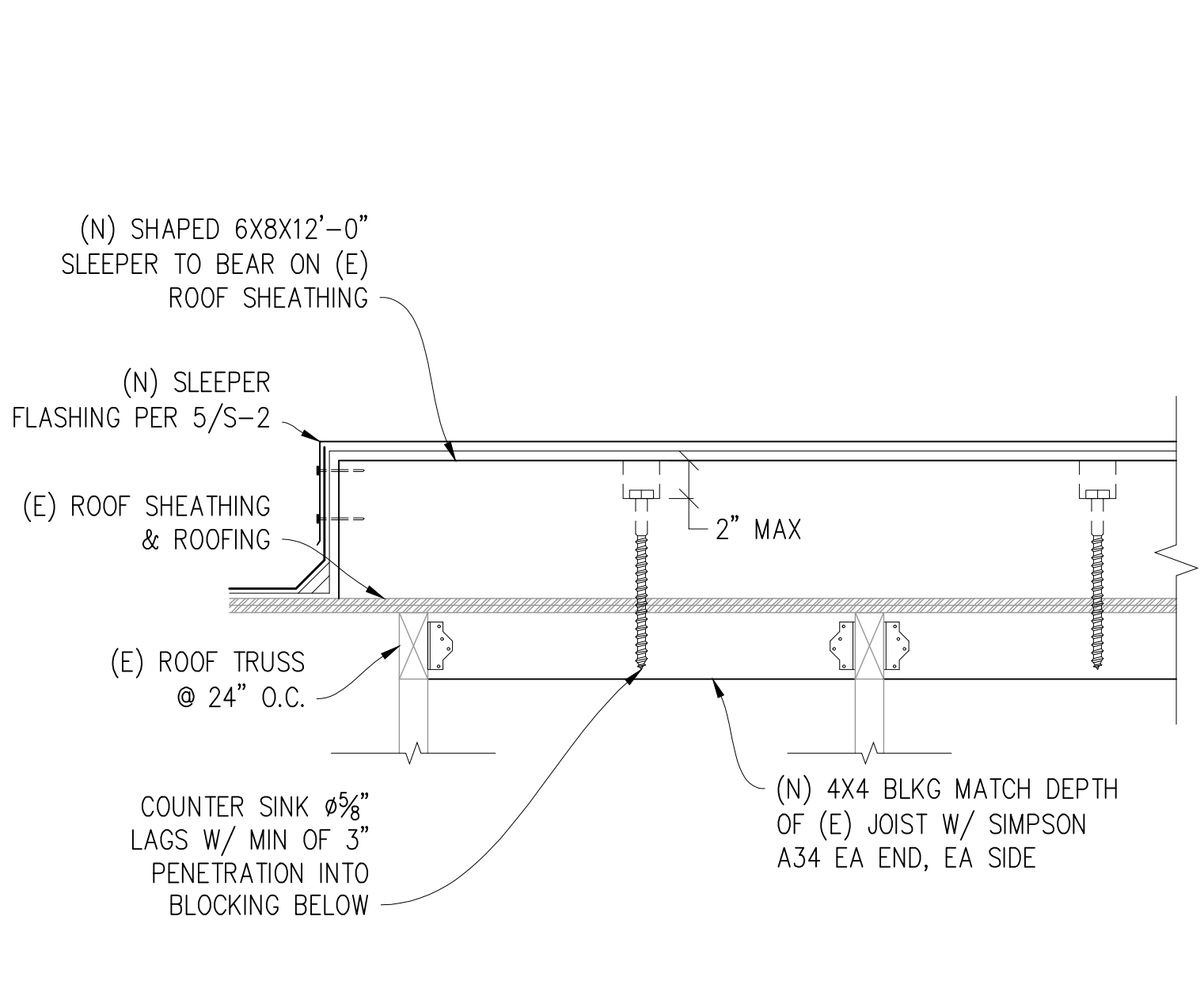


ISSUE STATUS			
Δ	DATE	DESCRIPTION	REV.
	02/22/21	CD 90%	-
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	-	-	-
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DRAWN BY: -			
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APPROVED BY: J. ANDERSON			
DATE: 07/14/21			

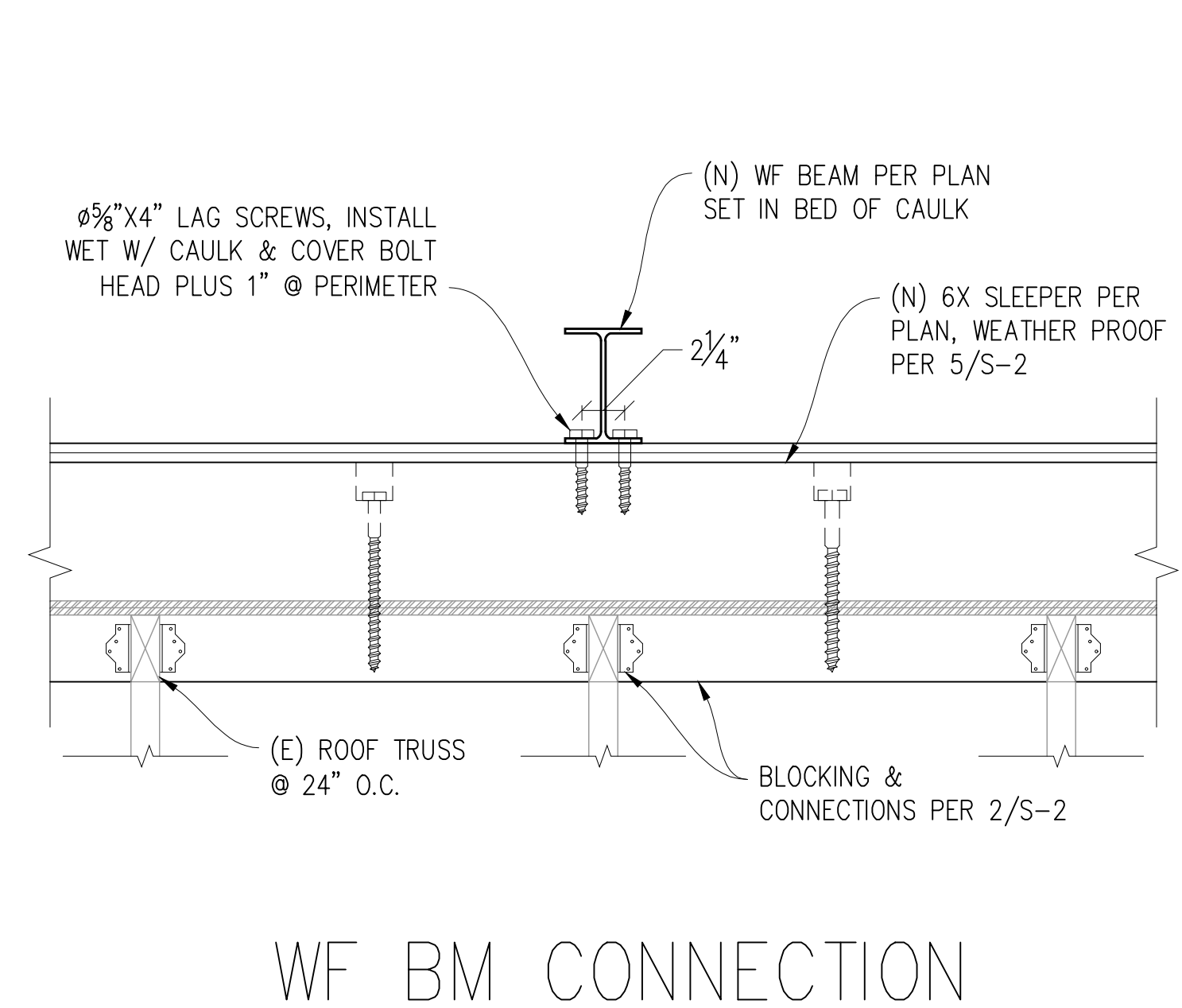
SHEET TITLE:
STRUCTURAL NOTES & DETAILS
SHEET NUMBER:
S-1



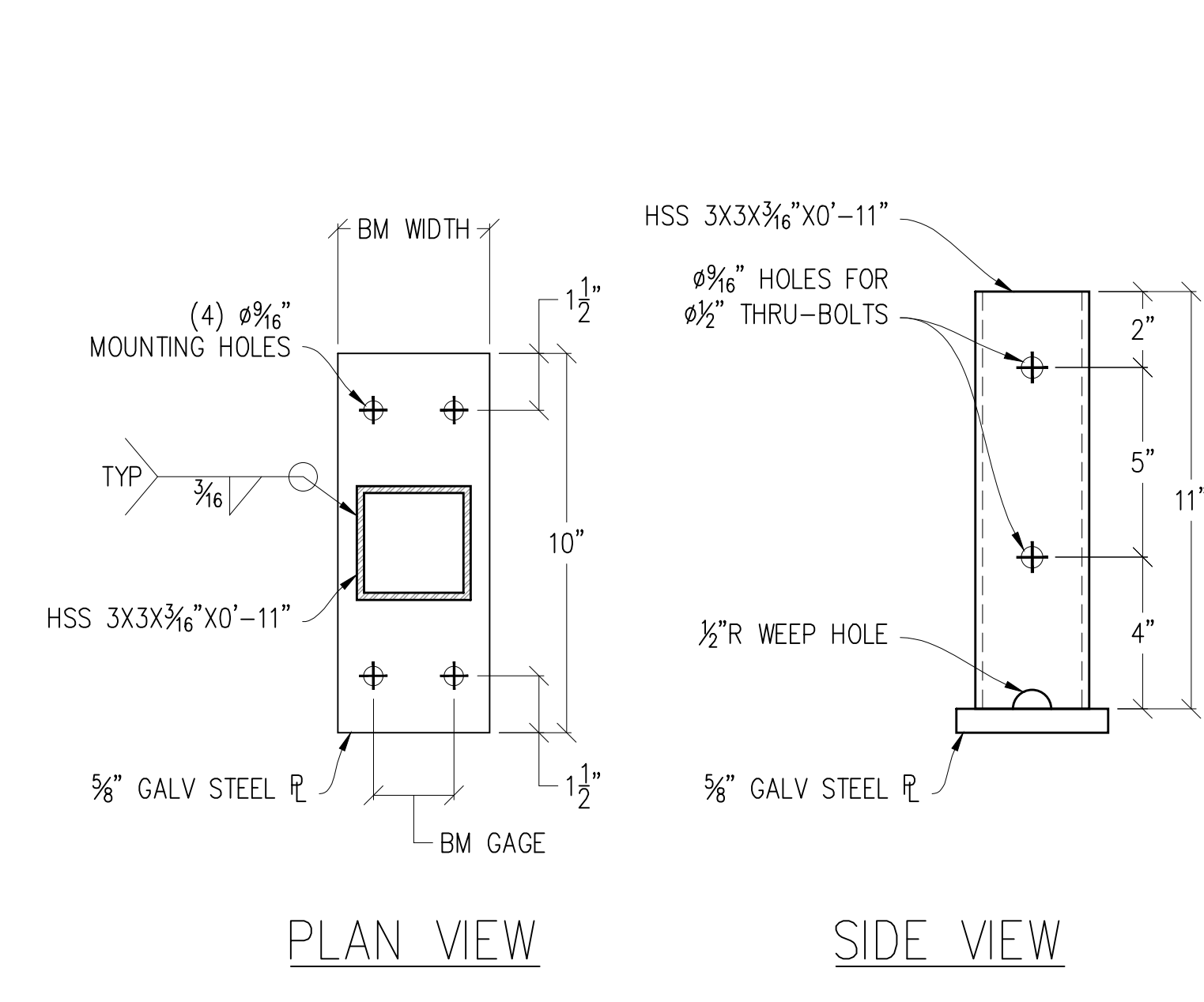
1 FRP BASE FRAME DETAIL
3/8"=1'-0"



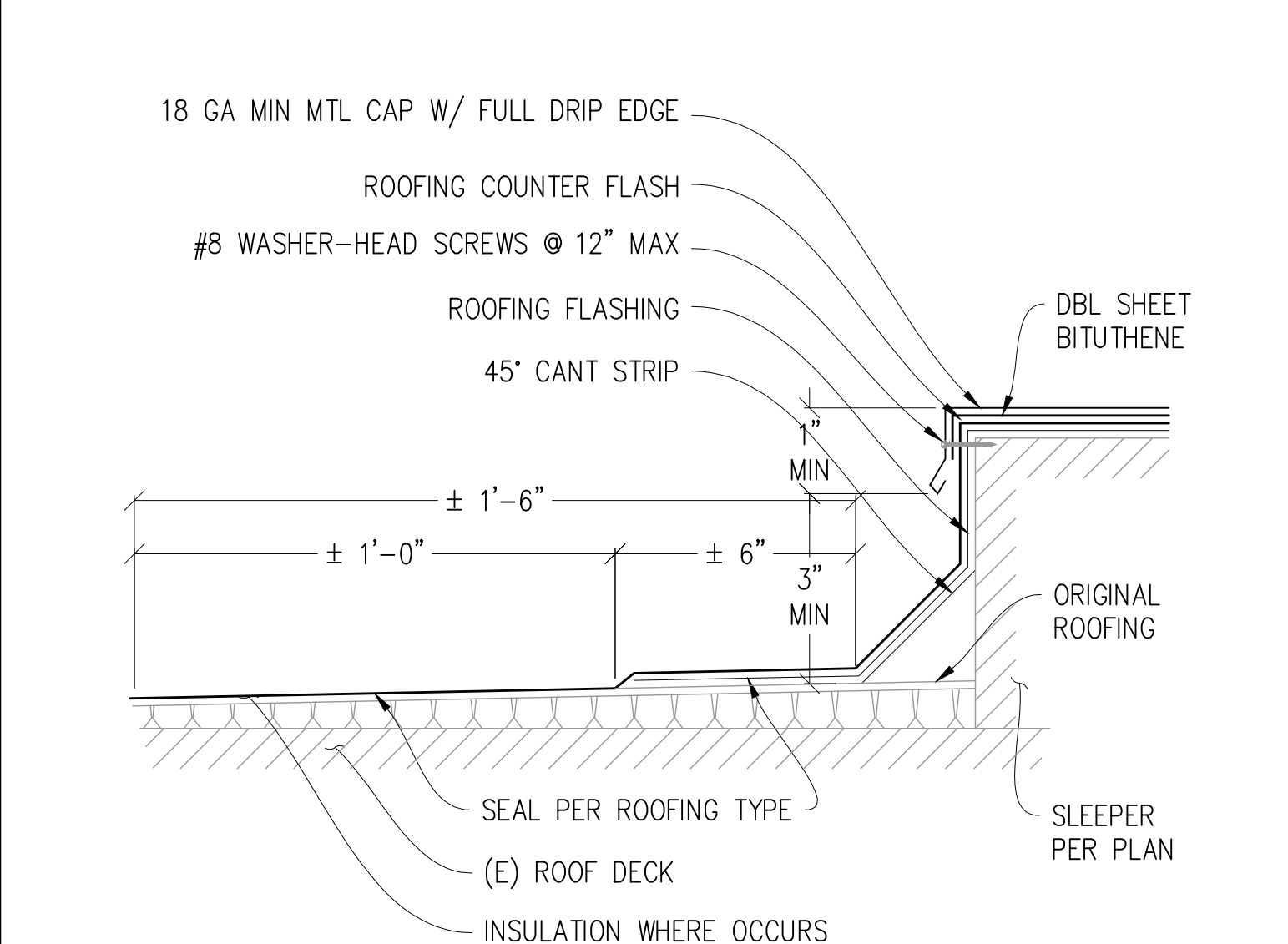
2 SLEEPER CONNECTION DETAIL
1 1/2"=1'-0"



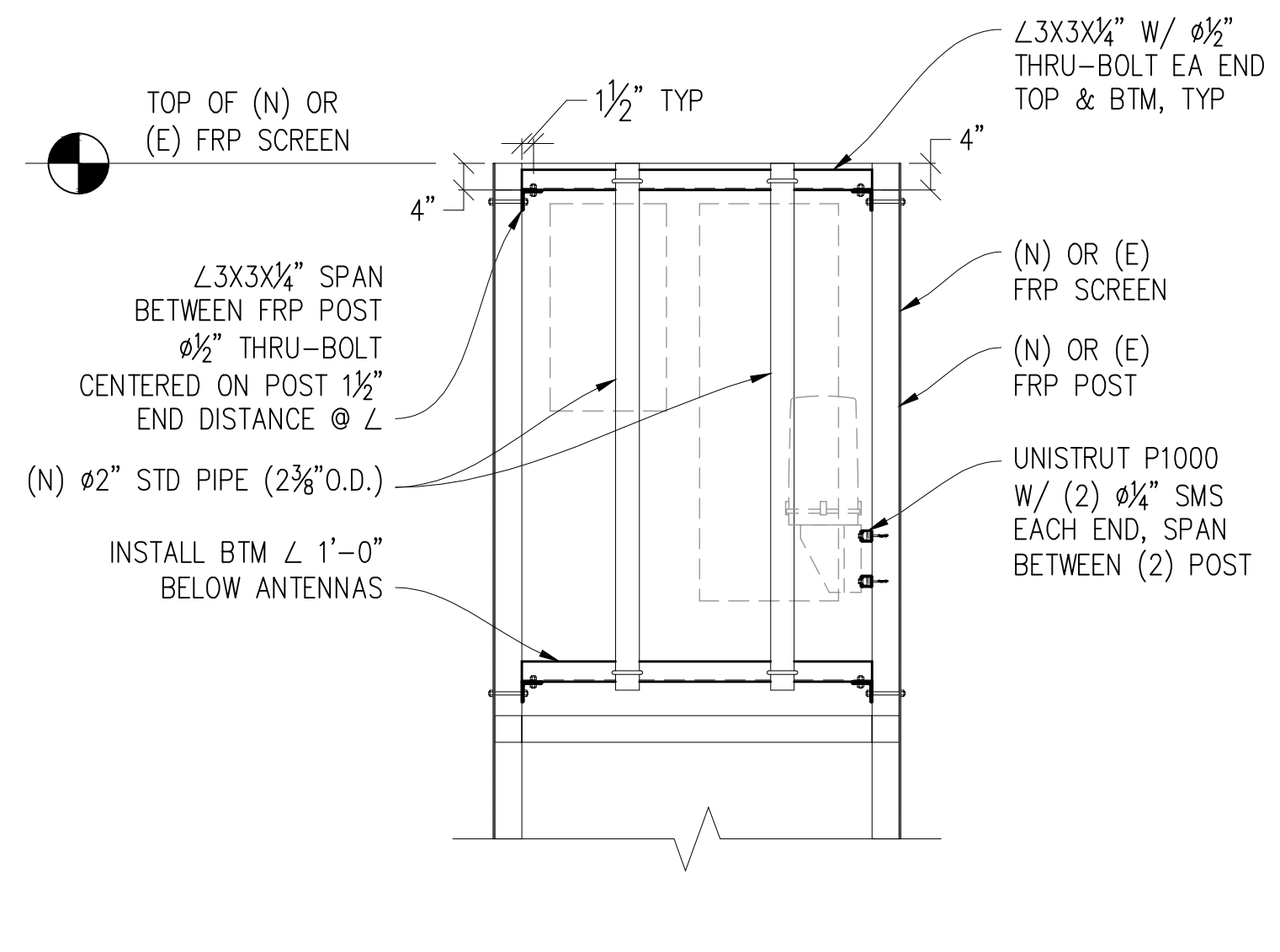
3 WF BM CONNECTION TO SLEEPER
1 1/2"=1'-0"



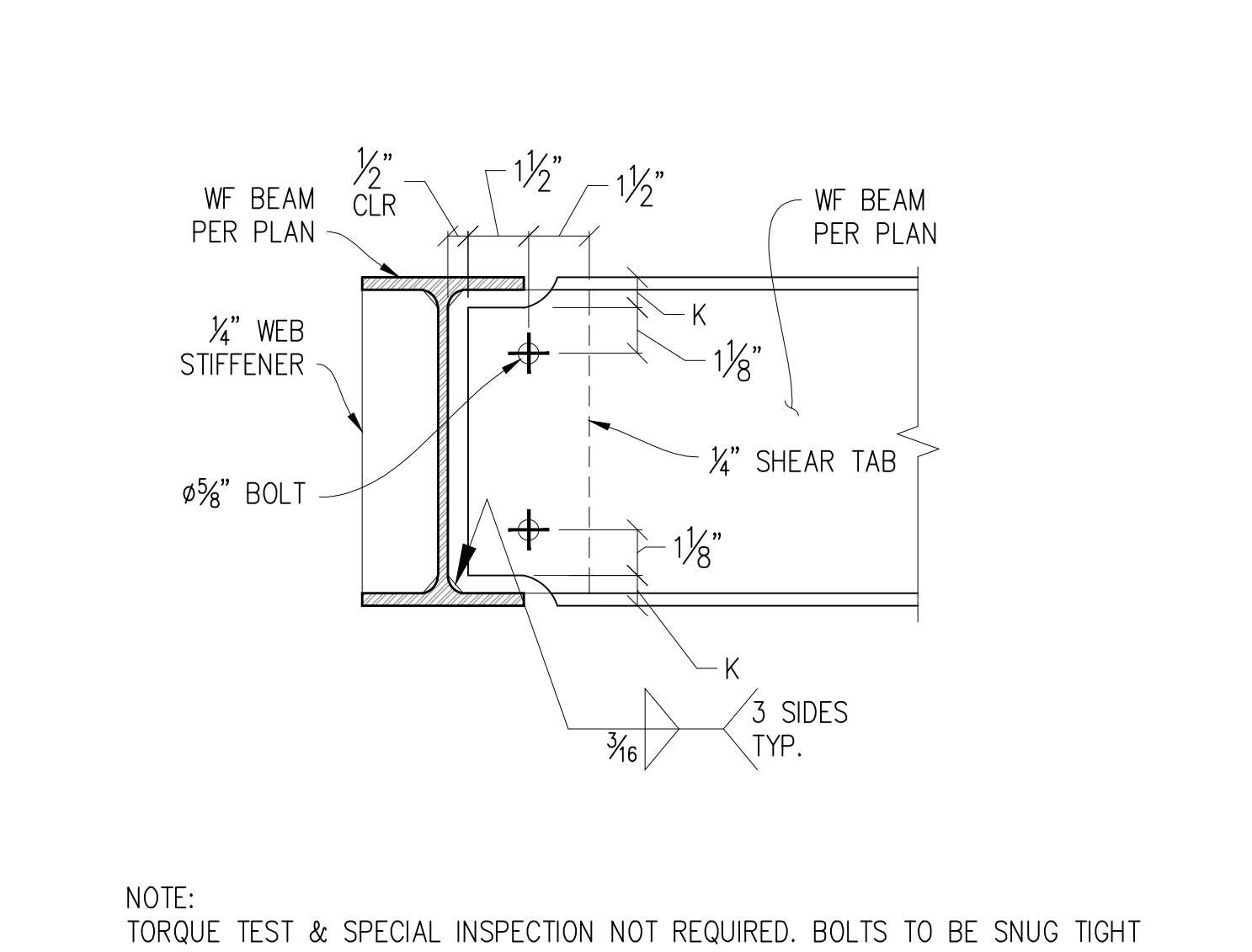
4 FRP POST BOOT
3"=1'-0"



5 SLEEPER FLASHING DETAIL
3"=1'-0"



6 ANTENNA PIPE MOUNT DETAIL
1/2"=1'-0"



7 WF BEAM TO WF BEAM
3"=1'-0"

NOTE:
TORQUE TEST & SPECIAL INSPECTION NOT REQUIRED. BOLTS TO BE SNUG TIGHT

PLACERVILLE

160170
2849 RAY LAWYER DRIVE
PLACERVILLE, CA 95667

verizon

285 PARKSHORE DRIVE
FOLSOM, CA 95630

Streamline Engineering
and Design, Inc.

8445 Sierra College Blvd, Suite E Granite Bay, CA 95746
Contact: Kevin Sorensen Phone: 916-660-1930
E-Mail: kevin@streamlineeng.com Fax: 916-660-1941

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LICENSED PROFESSIONAL ENGINEER
John M. Anderson
NO. 69368
CIVIL
STATE OF CALIFORNIA

John M. Anderson

ISSUE STATUS			
Δ	DATE	DESCRIPTION	REV.
	02/22/21	CD 90%	-
	07/14/21	CD 100%	C.C.
	-	-	-
	-	-	-
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	-	-	-

DRAWN BY: -

CHECKED BY: S. SAVIG

APPROVED BY: J. ANDERSON

DATE: 07/14/21

SHEET TITLE:
STRUCTURAL DETAILS

SHEET NUMBER:
S-2



Site Type: ENCLOSURE

Customer: STREAMLINE ENGINEERING

Site Number: 160170

Site Name: PLACERVILLE

Site Address: 2849 RAY LAWYER DRIVE,
PLACERVILLE, CA 95667



Customer: STREAMLINE ENGINEERING

Carrier / Site # VERIZON 160170
Project Name: PLACERVILLE

GENERAL NOTES:

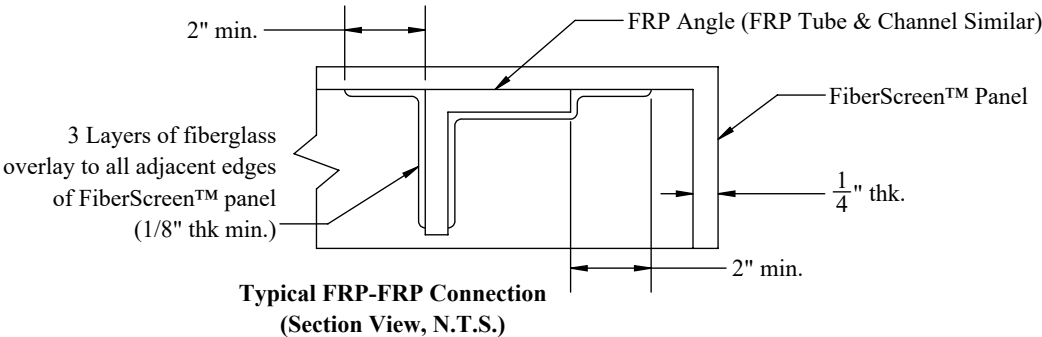
- Structural Design is based on the 2019 Edition of the California Building Code and ASCE 7-16.
- The contractor shall verify dimensions, conditions and elevations before starting work. The engineer shall be notified immediately if any discrepancies are found.
- The typical notes and details shall apply in all cases unless specifically detailed elsewhere. Where no detail is shown, the construction shall be shown for other similar work and as required by the building code.
- These calculations are limited to the structural members shown in these calculations only. The connection of the members shown in these calculations to the existing structure shall be by others.
- The contractor shall be responsible for compliance with local construction safety orders. Approval of shop drawings by the architect or structural engineer shall not be construed as accepting this responsibility.
- All structural members shall be adequately shored and braced during erection and until full lateral and vertical support is provided by adjoining members.
- Any modifications to Peabody Engineering's products must be made with the express written consent of an authorized Peabody Engineering representative and in accordance to Peabody Engineering's guidelines. Unauthorized modifications will result in the warranty of our products being void.
- ANY PAINT USED ON OUR PRODUCTS MUST BE OF A NON-METALLIC, 100% ACRYLIC, WATER BASED PAINT.**

FIBERGLASS REINFORCED PLASTIC (FRP):

- All structural shapes shall be Strongwell series 500 or 525 or equivalent, unless noted otherwise in plans, produced using the pultrusion process.
- All cut edges and holes shall be sealed with a resin compatible with the resin matrix used in the structural shape.
- The fabricator and contractor shall exercise precautions necessary to protect the fiberglass pultruded structural shapes from abuse to prevent breakage, nicks, gouges, etc. during fabrication, handling and installation.
- Structural shapes shall be fabricated and assembled as indicated on the design drawings.
- FRP STUDS AND NUTS SHALL BE TIGHTENED TO SNUG TIGHT AND TURNED AN ADDITIONAL 1/2 TURN AND LOCKED WITH EPOXY.**

STRUCTURAL STEEL:

- All structural steel angles and plates shall be per ASTM A36.
- All structural steel tubes shall be per ASTM A500 grade B.
- All anchor bolts shall be per ASTM A307, u.n.o. Steel to steel connection bolts shall be per ASTM A325N, u.n.o.
- All welding shall be performed with E70XX low hydrogen electrodes in an approved fabrication shop.



Project Team:

Mark Peabody
Chief Executive Officer
Mark.P@4Peabody.com

Kyle Peabody
Telecom Sales Specialist
Kyle.P@4Peabody.com

Nathan Guest
CAD Designer
Nathan.G@4Peabody.com

Signature Page

The following pages contain important information about the project Peabody Engineering will fabricate. Peabody Engineering produces custom-made products and our fabrication details may vary from traditional methods and the drawings that were originally provided to us for this project.

Please carefully review the details on the following pages and confirm they are what you require. We strongly suggest, you field verify all of the dimensions and details on these drawings as presented. Confirm that all relevant details are accurately presented. These drawings supersede any and all previous drawings.

By signing below, I take full responsibility that all the dimensions and details provided on each page has been confirmed as presented herein. There are NO EXCEPTIONS taken. I certify that this set of drawings can be used to fabricate the project. If changes are required, check the box below, mark the changes required on each page and return for review.

☐ Redlines - Please revise per redlines as noted and return for review.

Printed Name	Company & Title	Date	Signature
--------------	-----------------	------	-----------

Design Notes:

SECTOR A

- PRIMER S.A. (ALL) - 639 SQ. FT.
- PAINTED S.A. (VIEWABLE) - 189 SQ. FT.
- APPROXIMATE WEIGHT: 813 LBS
- QTY: (1) UNITS

SECTOR C

- PRIMER S.A. (ALL) - 1045 SQ. FT.
- PAINTED S.A. (VIEWABLE) - 309 SQ. FT.
- APPROXIMATE WEIGHT: 1367 LBS
- QTY: (1) UNITS



Sheet Title / Description:

TITLE

Scale: 1:2 Sheet # 1 OF 10

Tolerance: Fractions ± 1/4" Angles ± 1°
Last Saved: Monday, June 14, 2021 8:47:45 AM

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Carrier / Site #
VERIZON **160170**
Project Name:
PLACERVILLE

REV.	DATE	DESCRIPTION	INITIALS
-	5/18/21	INITIAL RELEASE	NRG

Stamp:



Sheet Title / Description:

DESIGN CRITERIA

Scale:	Sheet #
1:2	2 OF 10

Tolerance:
Fractions $\pm 1/4"$ Angles $\pm 1^\circ$

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AVG PANEL WEIGHT = (3.5)PSF
W = APPROX. (50)LB/FT (FRP ONLY.)

EXPOSURE: (C)
BASIC WIND SPEED: (94)MPH
P WIND = (22) PSF MAX.

R1 = (150) LBS. ↓
R2 = (1,200) LBS. ↑↓
R3 = (100) LBS. ↓
R4 = (450) LBS. ↑
V1 = (660) LBS. ↔
V2 = (400) LBS. ↔

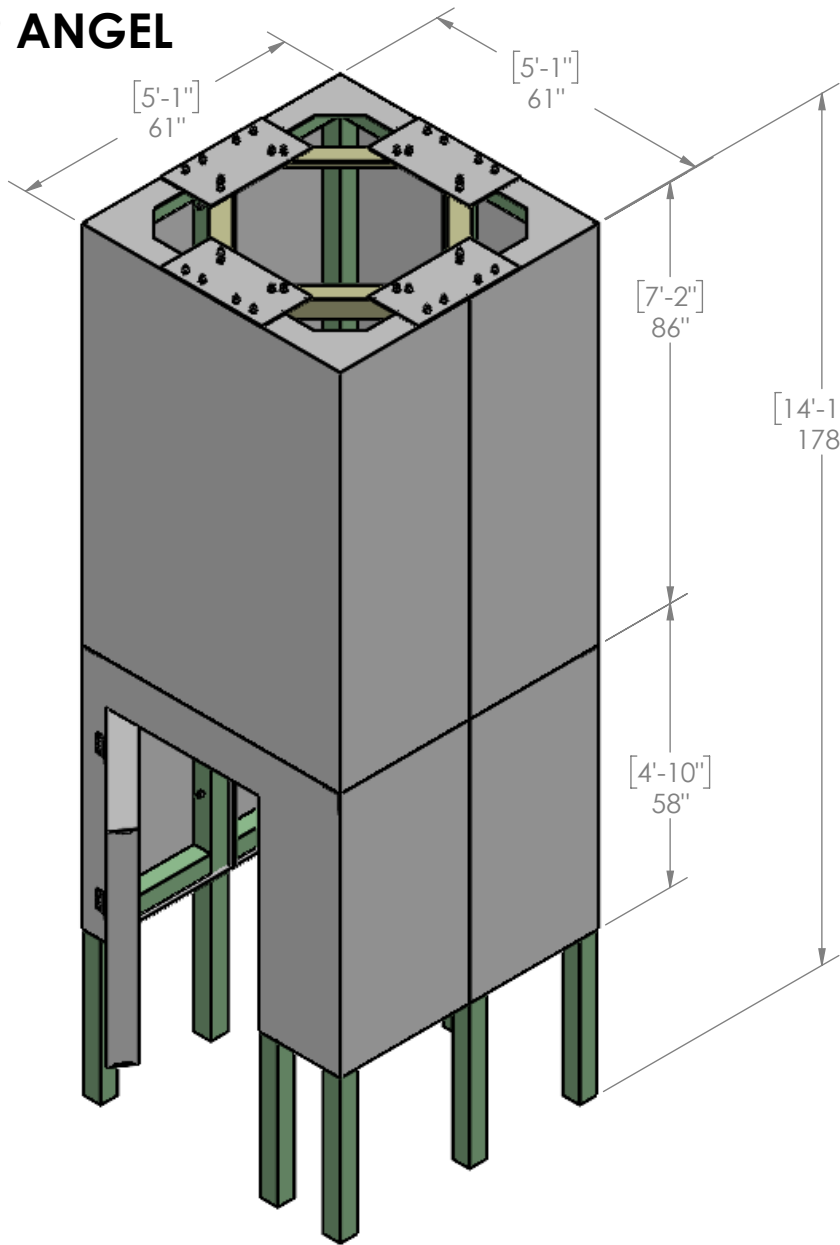
SEE SHEETS 10 FOR
LOAD LOCATIONS
AND LOAD CASES

ALL REACTION LOADS SHOWN ARE DESIGN
LOADS (ASD) IN COMBINATION WITH WIND &
DEAD LOADS

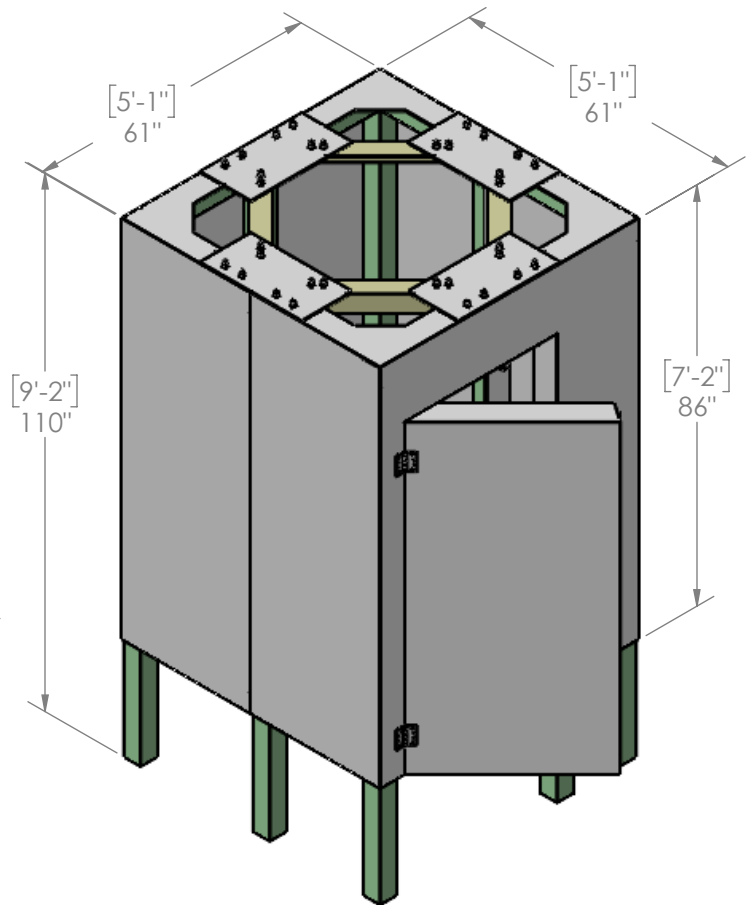
NOTE: R1 & R3 POST LOADS ARE FOR FRP WIGHT ONLY. ADDITIONAL EQUIPMENT & ANTENNA WEIGHT TO BE DETERMINED AND ADDED PER A&E

NOTE:

- (2) UNITS TOTAL
 - SECTOR A: (2)-PIECE ASSEMBLY
 - SECTOR C: (4)-PIECE ASSEMBLY
- FOLLOWING ITEMS ARE SHIPPED LOOSE, DRILLED, AND INSTALLED ON-SITE BY OTHERS TO ALLOW FOR ANY FIELD VARIANCE
 - (11) Ø1/2" X 8' FRP THREADED ROD
 - (261) Ø 1/2" FRP NUTS
 - (8) 24" X 12" X 1/4" FRP GUSSET PLATES
 - (2) 4" X 4" X 1/4" X 20' LONG FRP ANGEL



ISOMETRIC VIEW
SECTOR C



ISOMETRIC VIEW
SECTOR A

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Corona, Ca. 92879
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Customer:
STREAMLINE ENGINEERING

Carrier / Site #
VERIZON 160170

Project Name:
PLACERVILLE

INITIALS	NRG				
DESCRIPTION	INITIAL RELEASE				
DATE	5/18/21				
REV.	-				

Stamp:



Sheet Title / Description:

SCOPE OF WORK

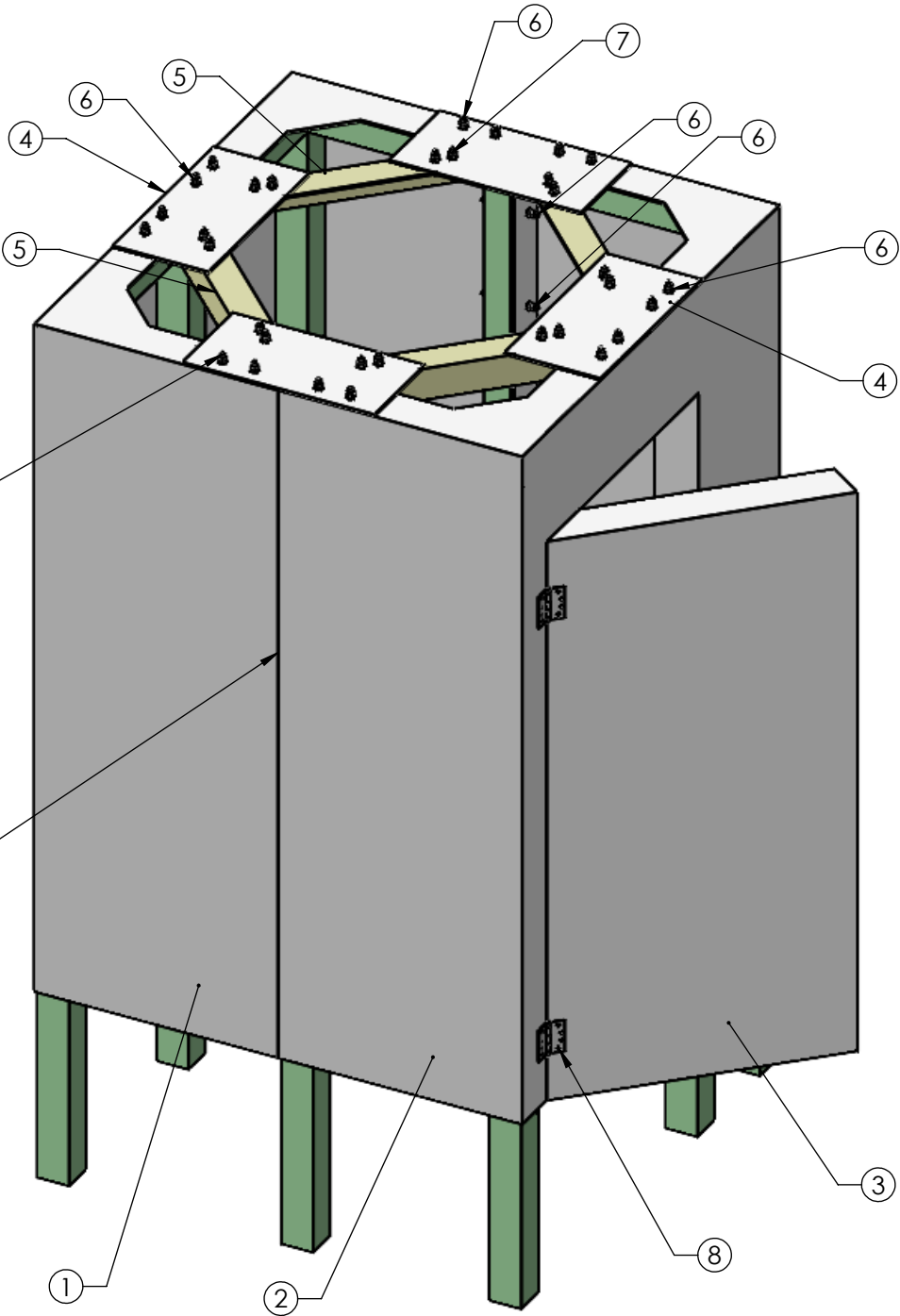
Scale: 1:32 Sheet # 3 OF 10

Tolerance: Fractions ± 1/4" Angles ± 1°

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SECTOR A - SCOPE OF WORK				
ITEM NO.	DESCRIPTION	QTY.	LENGTH	SL
1	PANEL A	1		
2	PANEL B	1		
3	DOOR	1		
4	24"X12"X1/4" FRP GUSSET PLATE	4		YES
5	4 x 4 x 1/4 FRP ANGLE	4	26 7/8"	YES
6	Ø1/2 FRP BOLT ASSY	28	7"	YES
7	Ø1/2 FRP BOLT ASSY	16	3"	YES
8	HINGE, SS	2		



ISOMETRIC VIEW
SECTOR A

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Carrier / Site #
VERIZON 160170

Project Name:
PLACERVILLE

INITIALS	NRG					
DESCRIPTION	INITIAL RELEASE					
DATE	5/18/21					
REV.	-					

Stamp:

Sheet Title / Description:
SECTOR A - SCOPE OF WORK

Scale: 1:20	Sheet # 4 OF 10
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Tolerance:
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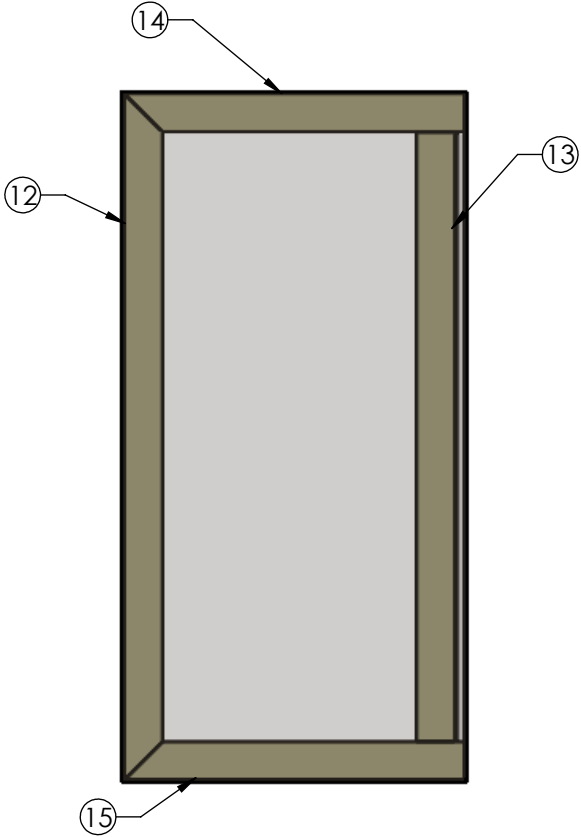
D

C

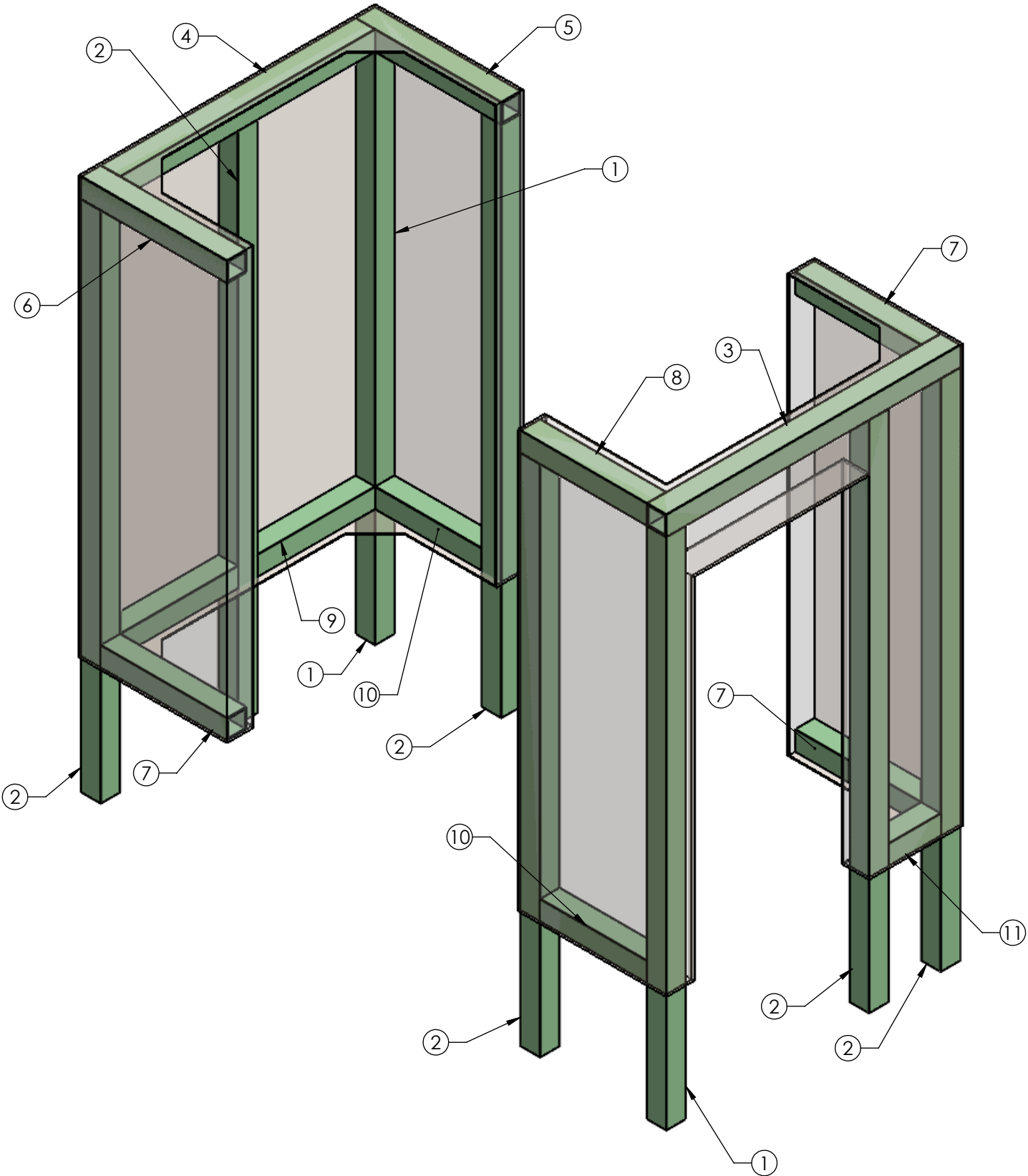
B

A

SECTOR A - FRP BOM			
ITEM NO.	DESCRIPTION	QTY.	LENGTH
1	4 x 4 x 1/4 FRP TUBE	2	105 3/4"
2	4 x 4 x 1/4 FRP TUBE	6	105 3/4"
3	4 x 4 x 1/4 FRP TUBE	1	60 1/2"
4	4 x 4 x 1/4 FRP TUBE	1	52 1/2"
5	4 x 4 x 1/4 FRP TUBE	1	30"
6	4 x 4 x 1/4 FRP TUBE	1	30"
7	4 x 4 x 1/4 FRP TUBE	3	26"
8	4 x 4 x 1/4 FRP TUBE	1	26"
9	4 x 4 x 1/4 FRP TUBE	2	24 1/4"
10	4 x 4 x 1/4 FRP TUBE	2	22"
11	4 x 4 x 1/4 FRP TUBE	1	10 3/4"
12	4 x 4 x 1/4 FRP ANGLE	1	71 1/2"
13	4 x 4 x 1/4 FRP ANGLE	1	71"
14	4 x 4 x 1/4 FRP ANGLE	1	35 7/16"
15	4 x 4 x 1/4 FRP ANGLE	1	35 7/16"



DOOR
SECTOR A



ISOMETRIC VIEW
SECTOR A (EXPLODED)

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Carrier / Site #
VERIZON 160170

Project Name:
PLACERVILLE

INITIALS	NRG					
DESCRIPTION	INITIAL RELEASE					
DATE	5/18/21					
REV.	-					



Sheet Title / Description:
SECTOR A - FRP

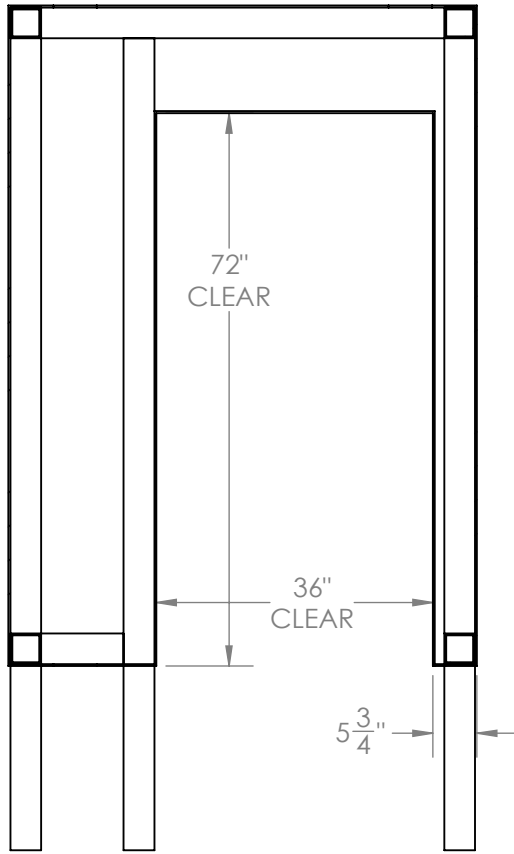
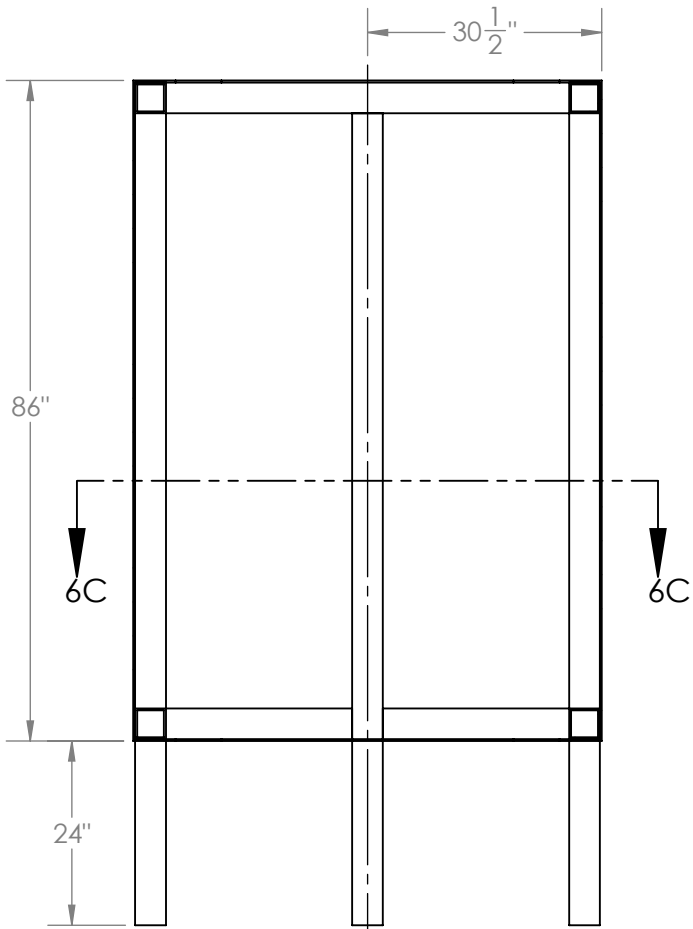
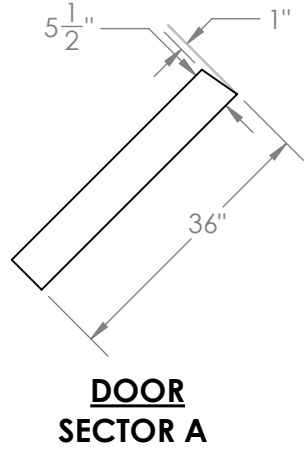
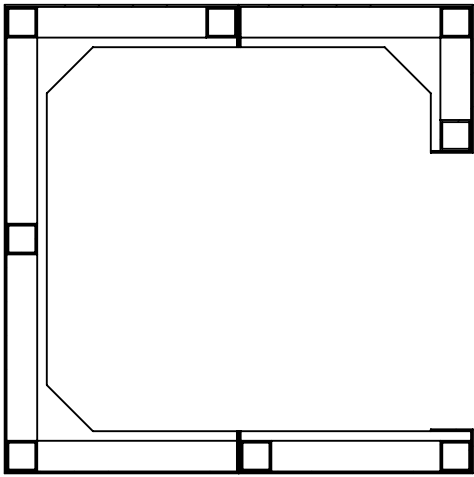
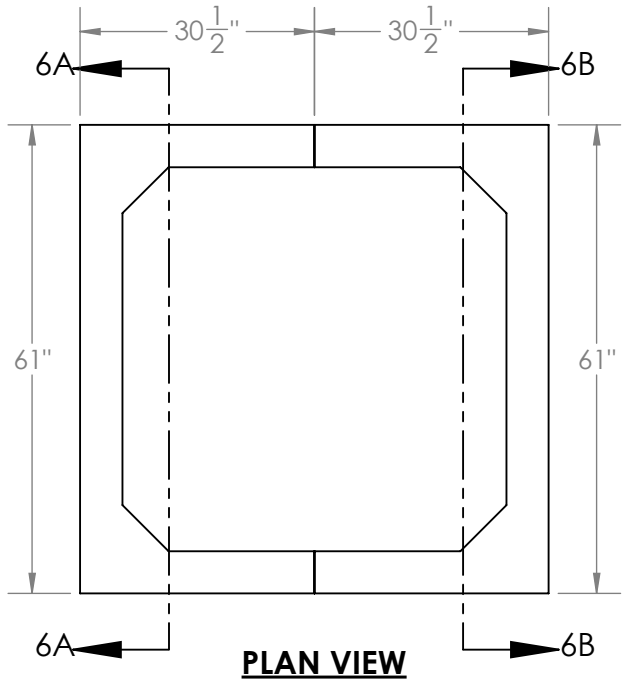
Scale: **1:20** Sheet # **5 OF 10**

Tolerance:
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D
C
B
A





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Carrier / Site #
VERIZON 160170

Project Name:
PLACERVILLE

INITIALS	NRG					
DESCRIPTION	INITIAL RELEASE					
DATE	5/18/21					
REV.	-					

Stamp:



Sheet Title / Description:

SECTOR A - DETAIL

Scale:	Sheet #
1:25	6 OF 10

Tolerance:
Fractions $\pm 1/4$ " Angles $\pm 1^\circ$

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D
C
B
A

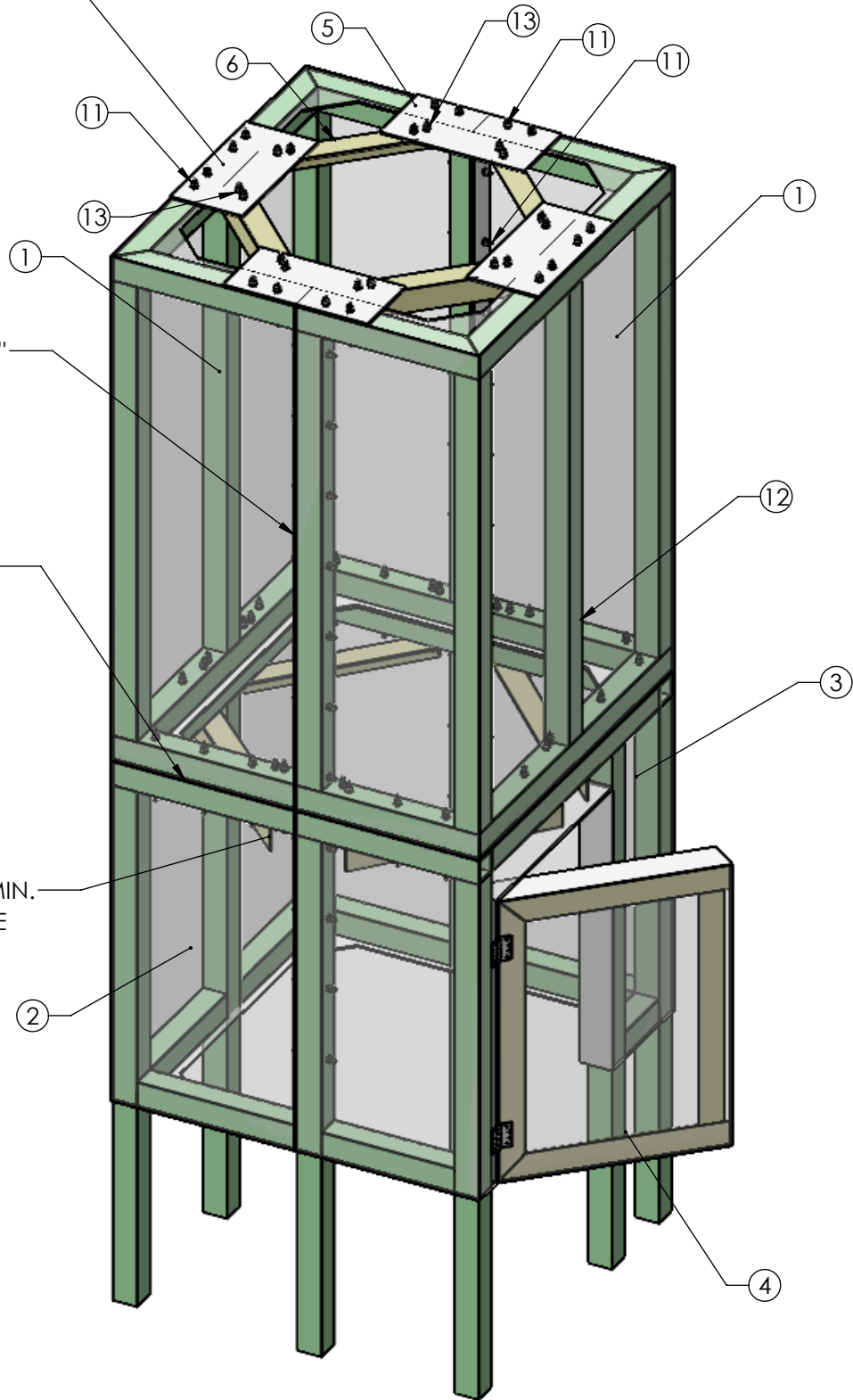
SECTOR B - SCOPE OF WORK				
ITEM NO.	DESCRIPTION	QTY.	LENGTH	SL
1	PANEL, TOP	2		
2	PANEL, BOTTOM	1		
3	PANEL , BOTTOM DOOR	1		
4	DOOR	1		
5	24"X12"X1/4" FRP GUSSET PLATE	4		YES
6	4 x 4 x 1/4 FRP ANGLE	4	26 7/8"	YES
7	4 x 4 x 1/4 FRP ANGLE	1	32 3/4"	YES
8	4 x 4 x 1/4 FRP ANGLE	1	35 9/16"	YES
9	4 x 4 x 1/4 FRP ANGLE	1	34 1/4"	YES
10	4 x 4 x 1/4 FRP ANGLE	1	36 15/16"	YES
11	Ø1/2 FRP BOLT ASSY	38	7"	YES
12	Ø1/2 FRP BOLT ASSY	38	12"	YES
13	Ø1/2 FRP BOLT ASSY	16	3"	YES
14	HINGE, SS	2		

(2) Ø1/2" FRP BOLTS MIN.
FOR EACH FRP GUSSET
PLATE CONNECTION

Ø1/2" FRP BOLTS SP. @ 12"
O.C. MAX FOR PANEL TO
PANEL CONNECTION

Ø1/2" FRP BOLTS SP. @ 12"
O.C. MAX FOR PANEL TO
PANEL CONNECTION

(2) Ø1/2" FRP BOLTS MIN.
FOR EACH FRP ANGLE
CONNECTION



ISOMETRIC VIEW
SECTOR C (CUTOUT)

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Corona, Ca. 92879
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Customer:
STREAMLINE ENGINEERING
Carrier / Site #
VERIZON 160170
Project Name:
PLACERVILLE

INITIALS	NRG					
DESCRIPTION	INITIAL RELEASE					
DATE	5/18/21					
REV.	-					



Sheet Title / Description:
SECTOR C - SCOPE OF WORK
Scale: 1:25 Sheet # 7 OF 10
Tolerance:
Fractions ± 1/4" Angles ± 1°
Last Saved:
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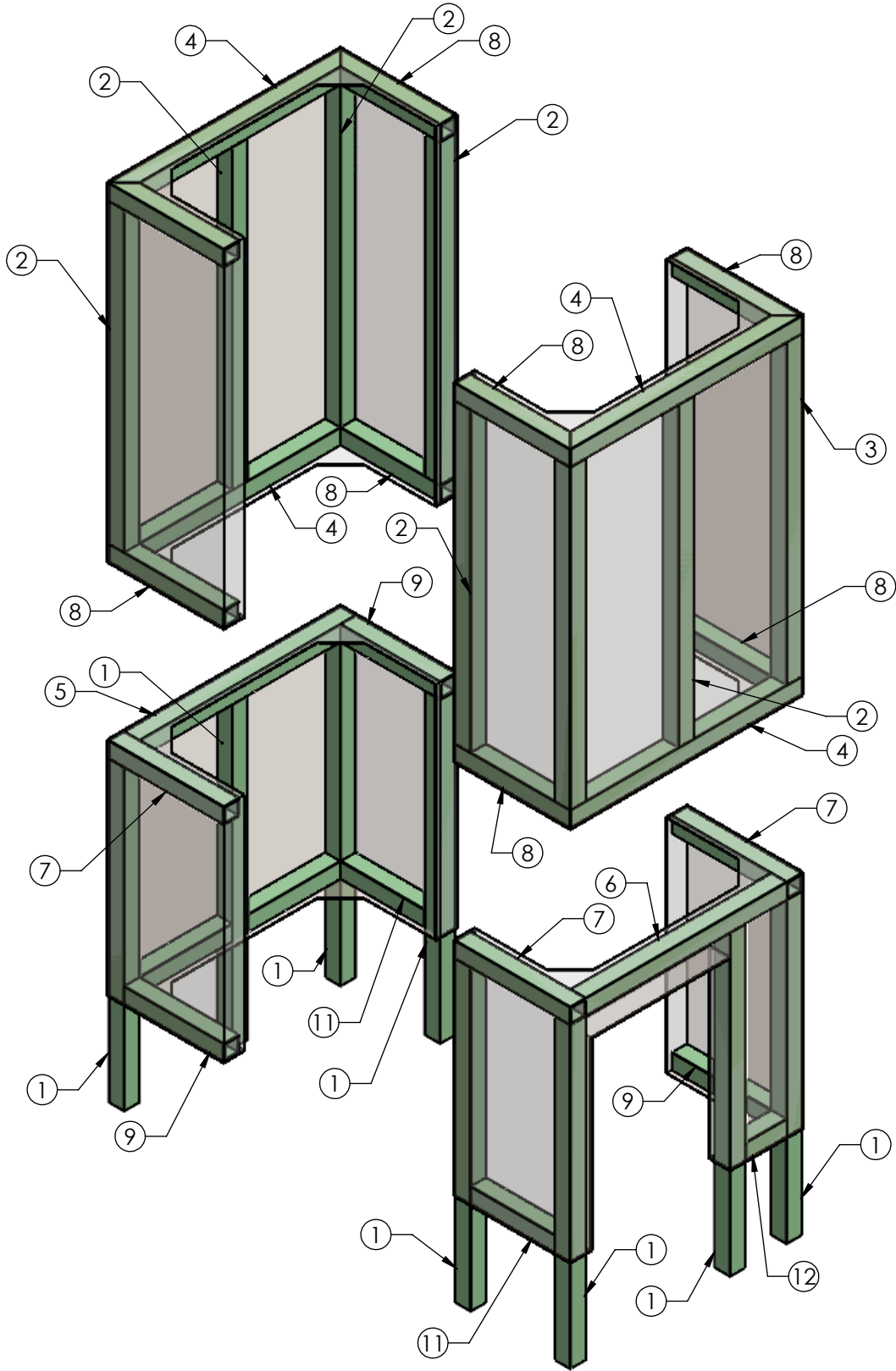
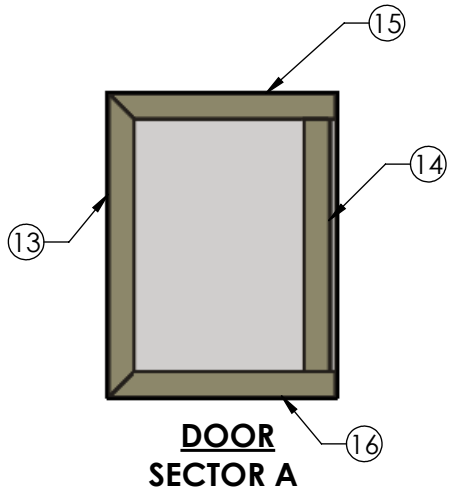
D

C

B

A

SECTOR C - FRP BOM			
ITEM NO.	DESCRIPTION	QTY.	LENGTH
1	4 x 4 x 1/4 FRP TUBE	8	77 3/4"
2	4 x 4 x 1/4 FRP TUBE	7	77 1/2"
3	4 x 4 x 1/4 FRP TUBE	1	77 1/2"
4	4 x 4 x 1/4 FRP TUBE	4	60 1/2"
5	4 x 4 x 1/4 FRP TUBE	1	56 1/2"
6	4 x 4 x 1/4 FRP TUBE	1	52 1/2"
7	4 x 4 x 1/4 FRP TUBE	3	30"
8	4 x 4 x 1/4 FRP TUBE	8	30"
9	4 x 4 x 1/4 FRP TUBE	3	26"
10	4 x 4 x 1/4 FRP TUBE	2	24 1/4"
11	4 x 4 x 1/4 FRP TUBE	2	22"
12	4 x 4 x 1/4 FRP TUBE	1	10 3/4"
13	4 x 4 x 1/4 FRP ANGLE	1	47 1/2"
14	4 x 4 x 1/4 FRP ANGLE	1	47"
15	4 x 4 x 1/4 FRP ANGLE	1	35 7/16"
16	4 x 4 x 1/4 FRP ANGLE	1	35 7/16"



ISOMETRIC VIEW
SECTOR C (EXPLODED)

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Customer:
STREAMLINE ENGINEERING

Carrier / Site #
VERIZON 160170

Project Name:
PLACERVILLE

INITIALS	NRG				
DESCRIPTION	INITIAL RELEASE				
DATE	5/18/21				
REV.	-				



Sheet Title / Description:

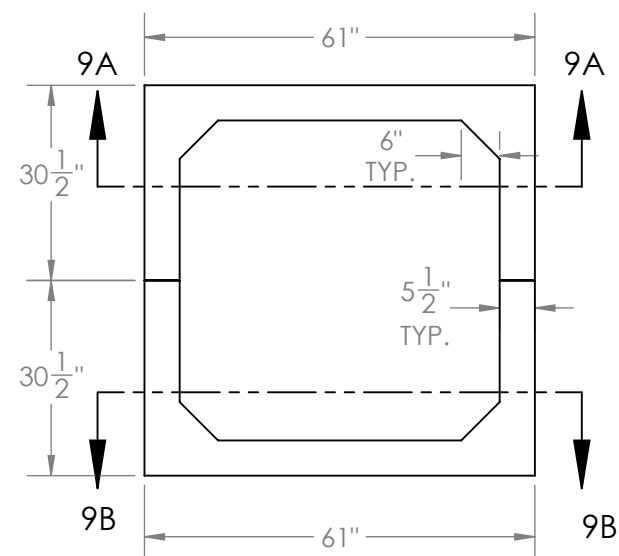
SECTOR C - FRP

Scale:	Sheet #
1:30	8 OF 10

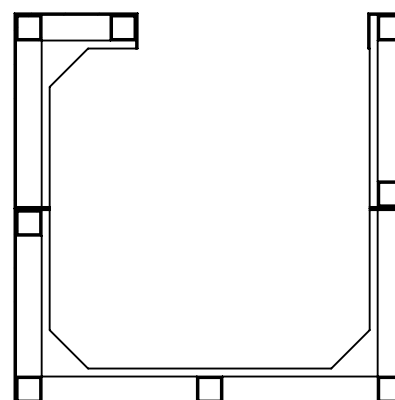
Tolerance:
Fractions ± 1/4" Angles ± 1°

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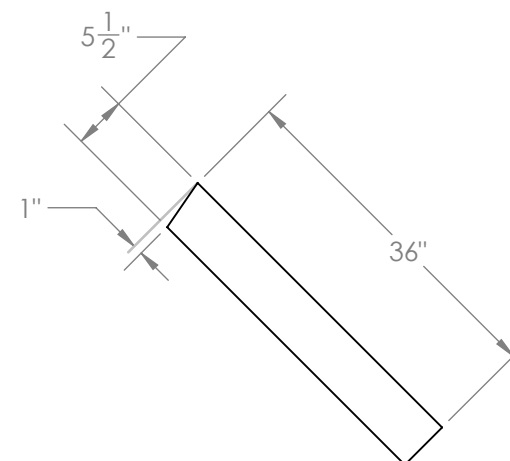
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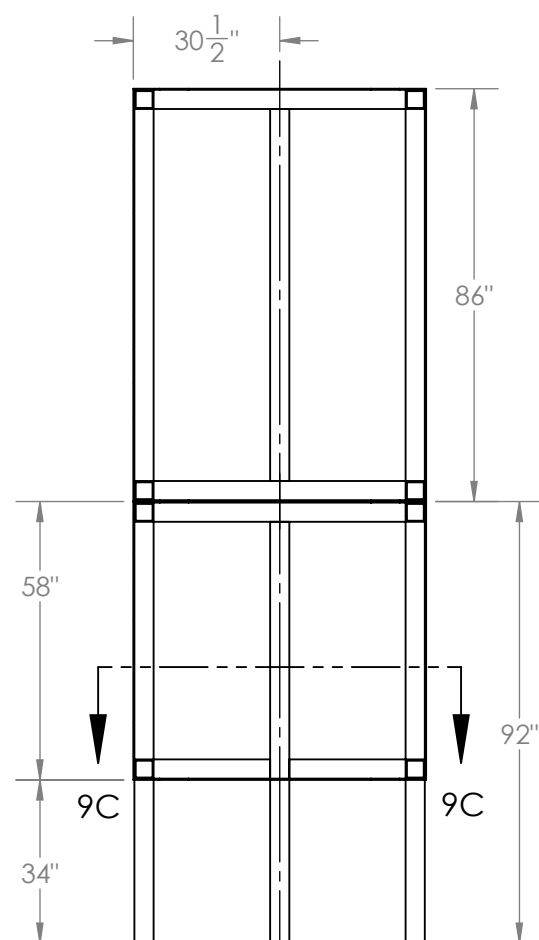
PLAN VIEW



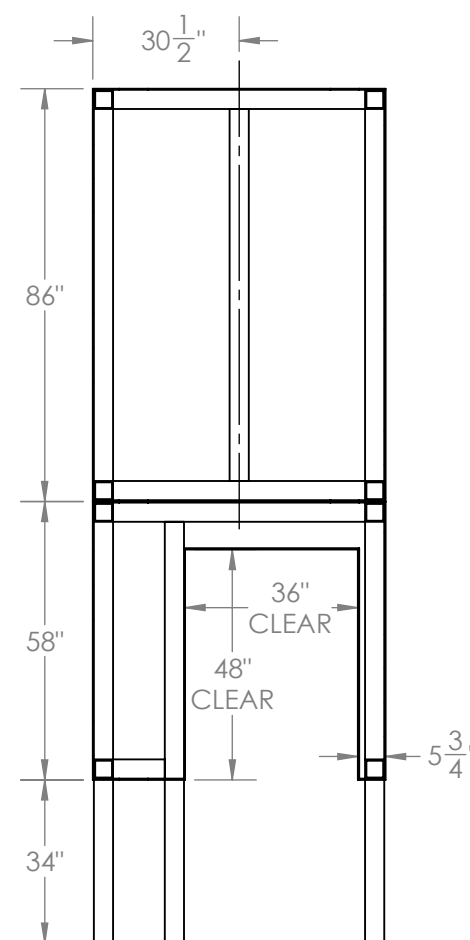
SECTION 9C-9C



DOOR
SECTOR A



SECTION 9B-9B
SCALE_1 : 40



SECTION 9A-9A
SCALE_1 : 40



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Customer:

STREAMLINE ENGINEERING

Carrier / Site #

VERIZON 160170

Project Name:

PLACERVILLE

REV.	DATE	DESCRIPTION	INITIALS
-	5/18/21	INITIAL RELEASE	NRG

Stamp:



Sheet Title / Description:

SECTOR C - DETAIL

Scale:

1:30

Sheet #

9 OF 10

Tolerance:

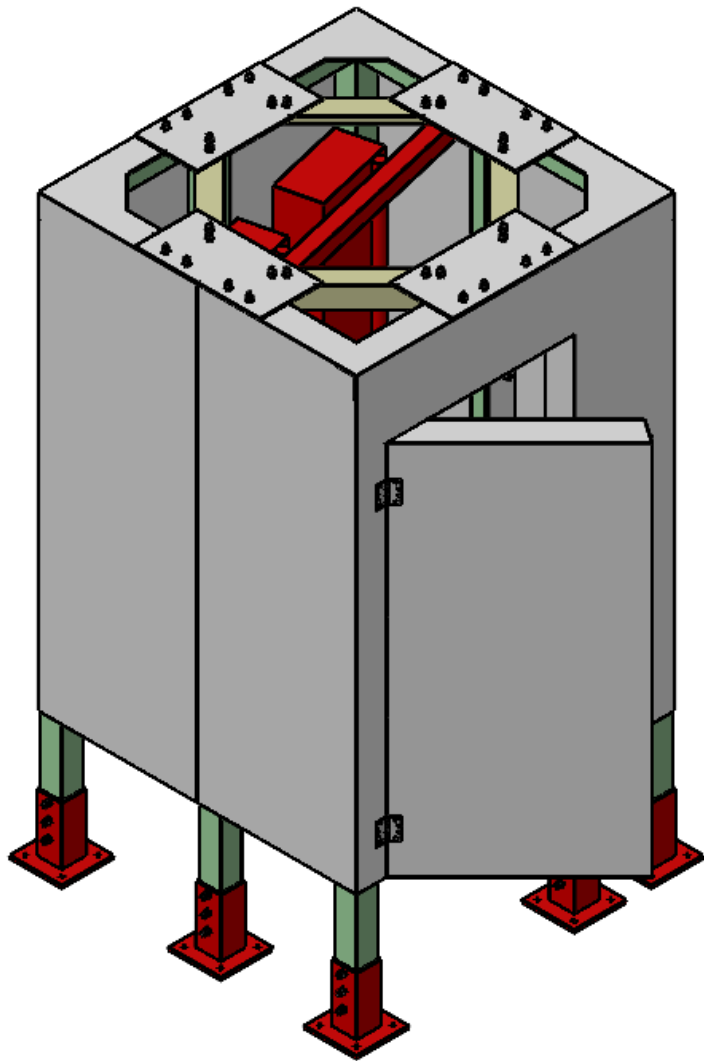
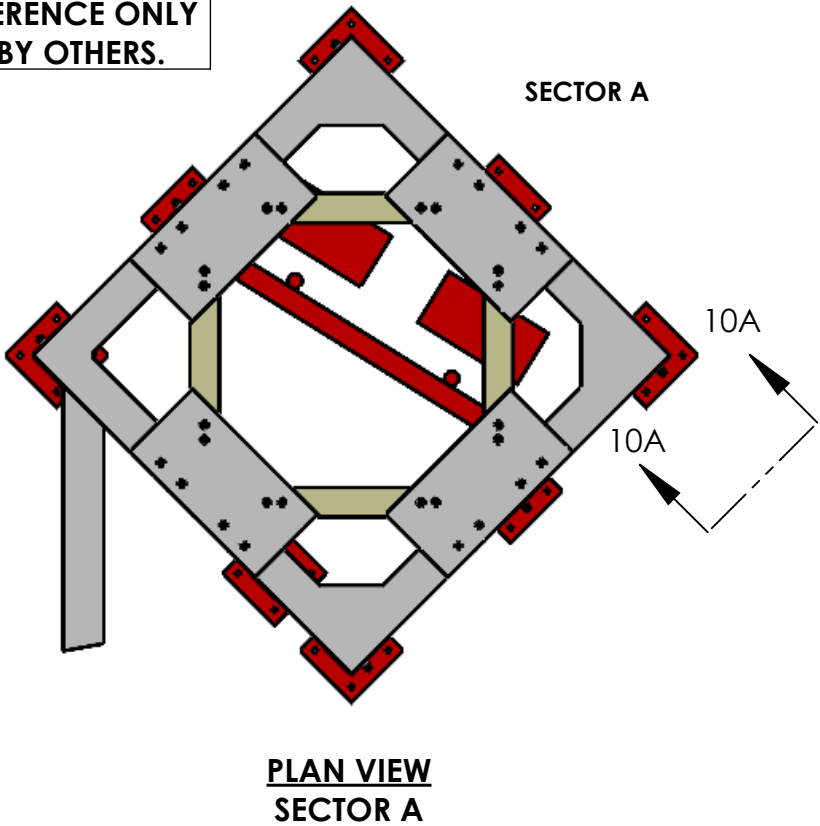
Fractions $\pm 1/4''$ Angles $\pm 1^\circ$

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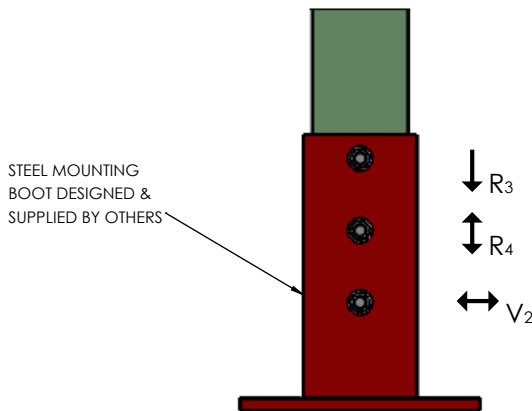
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ANTENNA SIZE & LOCATIONS ARE
SCALED FROM CD'S DATED 02/22/21.
ANTENNAS ARE FOR REFERENCE ONLY
AND TO BE PROVIDED BY OTHERS.



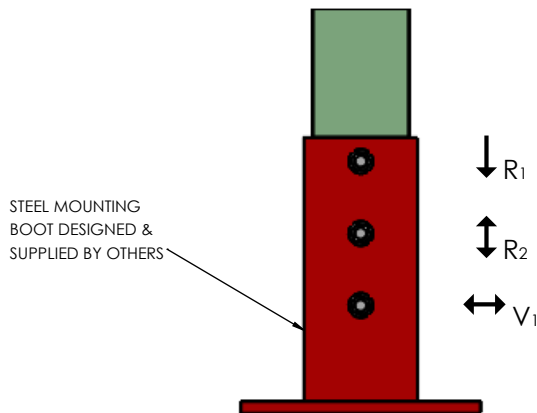
ISOMETRIC VIEW
(SECTOR A)

SECTOR A
R3 = 100LBS (FRP WT. ONLY)
R4 = 450LBS (WIND ONLY)
V2 = 400LBS (WIND)



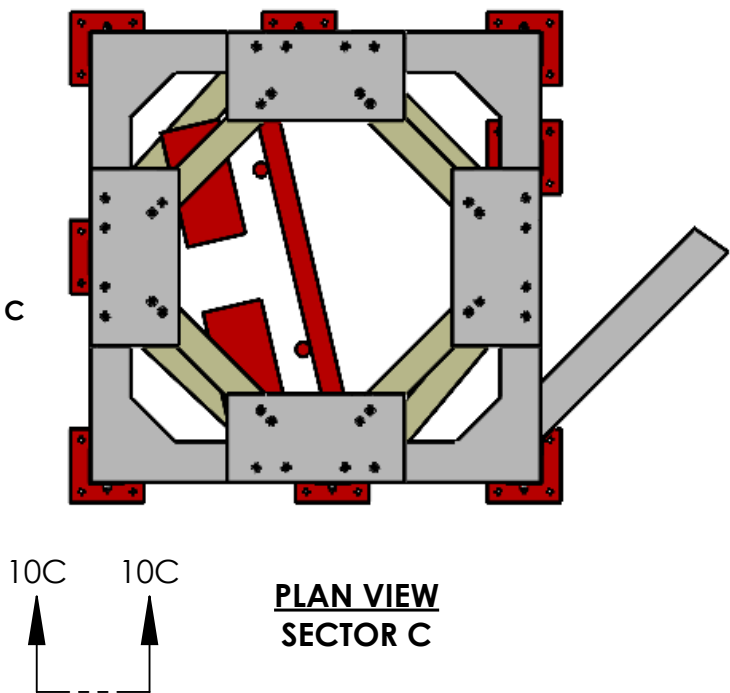
SECTION 10A-10A
SCALE_1 : 8

SECTOR C
R1 = 150LBS (FRP WT. ONLY)
R2 = 1,200LBS (WIND ONLY)
V2 = 660LBS (WIND)



SECTION 10C-10C
SCALE_1 : 8

SECTOR C



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Project Name:

PLACERVILLE

INITIALS	NRG				
DESCRIPTION	INITIAL RELEASE				
DATE	5/18/21				
REV.	-				

Stamp:



Sheet Title / Description:

INSTALLATION

Scale: 1:26 Sheet # 10 OF 10

Tolerance: Fractions $\pm 1/4"$ Angles $\pm 1^\circ$

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Attachment 3

1988 Conditions of Approval and Compliance Status for CUP05-07 (June 21, 2005) and SPR79-20 (February 19, 1980)

Condition of Approval	Compliance Status as of October 12, 2021
CUP05-07 (June 21, 2005)	
1. Submit plans and engineering to building department for review. Note: Engineering will be required for the attachment of antennas and the additional weight to the structure roof.	Condition met. Condition to be revised and incorporated into CUP21-02 as Condition 5 to reflect modifications authorized by the Planning Commission.
2. The permittee shall maintain the six antennas and tripod support structure. All antennas, mounting hardware and tripod support shall have and maintain a finish that matches with the Discovery Plaza shopping center base color.	Condition met. Condition to be revised and incorporated into CUP21-02 as Condition 10 to reflect modifications authorized by the Planning Commission.
3. A solid wood gate shall be installed to fully enclose the opening of the existing concrete masonry enclosure that will house the new emergency back-up generator. Wooden gate finish color shall match the base color of the Discovery Plaza. Project proponent shall maintain gate and its color finish.	Condition met. Condition to be retained and incorporated into CUP21-02 as Condition 11.
4. The Conditional Use Permit shall be granted for the use as approved by the Planning Commission. Substantial revisions and/or expansions of the project will require a new Use Permit, subject to approval of the Planning Commission.	Condition met. Condition to be revised and incorporated into CUP21-02 as Conditions 1 and 3.
5. The Conditional Use Permit shall expire and become null and void eighteen (18) months after the date of granting the permit, unless a building permit has been obtained for the construction of the telecommunication facility, prior to the date of expiration.	Condition to be retained and incorporated into CUP21-02 as Condition 4.
6. The permittee shall notify the City of intent to vacate the site. The owner/operator will remove all structures and accessory equipment within twelve months of the date of notice unless the site is to be occupied by a successor.	Condition to be retained and incorporated into CUP21-02 as Condition 12.

SPR79-20 (February 19, 1980)	
1. A sidewalk will be required to be installed along Ray Lawyer Drive frontage of the property (note: The requirement for a Frontage Improvement Agreement along Placerville Drive is required by Section 8-9-1 and will be handled by the Development Services Division).	Condition met during site development permitting; staff recommends condition elimination.
2. The site will only have three pole signs, one to be located on the bank, and two to be located on the center's parcel, APN 325-120-77.	One pole sign and one pole sign support structure is present within Discovery Plaza. The multi-tenant pole sign is along Placerville Drive and is on the Discovery Plaza parcel. A pole sign support structure is located near the intersection of Placerville Drive and Ray Lawyer Drive on the former bank and then Blockbuster Video business building now Mountain Democrat office. This is on separate parcel, APN 325-120-078, and address of 2889 Ray Lawyer Dr. This condition should be re-numbered as Condition 5a. It would be addressed at time of Master Sign Plan review per analysis under Condition 3 herein.
3. The colors of the signs will match the colors of the buildings.	<p>Compliance with this condition does not appear to have been sustained since shopping center completion. Current tenant wall sign colors deviate from building colors. Permit records indicate staff approval of tenant changes with deviations since the 1980s.</p> <p>City Master Sign Plan regulations per City Code 10-4-17(H) require new signage for a site with three or more nonresidential tenants requires the submittal of a Master Sign Plan for Planning Commission approval. As future tenant changes occur within Discovery Plaza their business signs would be required to meet the Master Sign Plan signing program specifics. Condition should be re-worded and re-numbered as Condition 5b to address the Master Sign Plan provisions of City Code.</p>

4. The bank parcel will be developed and landscaped at the same time as the shopping center parcel. If the bank parcel will not be developed for a long period of time it will be required to be temporarily landscaped. This will be worked out with staff.	Condition met during site development permitting; staff recommends condition elimination.
5. The elevations, (signing and color scheme) of the bank will be in substantial harmony with the shopping center.	Condition met. Staff recommends condition elimination.
6. A conditional use permit will be required for the proposed auto center.	Records indicate auto center use (Montgomery Wards) was to operate within building where the current Verizon store operates. No auto center (repair, maintenance) use currently operates within the building. Staff recommends condition elimination.
7. The loading area will be located on the east or rear side of the main building and the driveway in back of the building will be one-way in order to allow adequate room for loading and traffic flow.	Condition met during approved site development construction. Staff recommends condition retention to memorialize vehicle circulation as Condition 5c.
8. The applicant will provide a mutual parking agreement for parking for the shopping center to use spaces on the bank parcel. Evidence of such agreement will be required prior to the issuance of a Certificate of Occupancy.	Condition met during approved site development construction. Staff recommends condition elimination.
9. Concrete curbs will be required.	Condition met during approved site development construction. Staff recommends condition elimination.
10. All driveways will be 23 feet in width.	Two driveways service access to the site, one each along Placerville Drive and Ray Lawyer Drive. Condition met during approved site development construction. Staff recommends condition elimination.
11. The area under the overpass will be graded to adequately drain the area so no water accumulates and sits in the area. It is recommended that the applicant work with the adjacent property owner to the east to pave this area.	Condition met during approved site development construction. Staff recommends condition elimination.

12. The applicant shall pursue landscaping further with staff.	Condition met during approved site development construction. Staff recommends condition elimination.
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